



Borough of Rumson
 BOROUGH HALL
 80 East River Road
 Rumson, New Jersey 07760-1689
 rumsonnj.gov

RECEIVED
 MAR 03 2025
ZONING OFFICE

APPLICATION TO THE ZONING BOARD OF ADJUSTMENT

Paul and Sharon Schifano	paulschifano821@gmail.com	908-403-1988	
Name of Applicant	Email	Phone Number	
44 Lennox Avenue		37	20
Property Address		Block	Lot
Same as Applicant			

Name of Owner (IF NOT APPLICANT)
A corporation, S-Corp, LLC or LLP MUST be represented by a licensed attorney in the State of New Jersey.

Rick Brodsky, Esq., Ansell Grimm & Aaron, PC, 1500 Lawrence Avenue, CN 7807, Ocean, NJ 07712 732-922-1000 rbrodsky@ansell.aw
 Applicant's Attorney and contact information (if any)

Anthony M. Condouris, Architect, 20 Bingham Avenue, Rumson, NJ 07760 732-842-3800 tony@amcarchitect.com
 Applicant's Architect and contact information (if any)

Applicant's Engineer and contact information (if any)
 ANSELL GRIMM & AARON, PC, Attorneys for Applicant

By:  RICK BRODSKY, ESQ.
 Signature of Applicant or Agent

2/28/25
 Date

Proposed plan Raze the existing dwelling and construct a new 2-1/2 story, 4-bedroom, single family dwelling with attached pergola, detached garage, in-ground pool and patio on a non-conforming corner lot

Variances requested See attached List of Variances

Application of Paul and Sharon Schifano
44 Lennox Avenue
Block 37, Lot 20
Zone R-5

LIST OF VARIANCES

The following variances will be required in connection with this application:

Section 22, Schedule 5-1: Front Yard Setback (Lakeside Avenue) of 35 feet is required, where 10.1 feet is proposed.

Section 22, Schedule 5-1: Front Yard Setback (Wrap around Porch - Lakeside Avenue) of 30 feet is required, where 5.58 feet is proposed.

Section 22, Schedule 5-1: Side Yard Setback (Escape Well) of 8 feet is required, where 6.1 feet is proposed.

Section 22-9.2, Exhibit 9-1: Two parking spaces are proposed, where 2.5 parking spaces are required.

The following pre-existing non-conformities will remain unchanged:

Section 22, Schedule 5-1: Lot Frontage and Width (Lennox Avenue) of 75 feet is required, where 50 feet is existing and no change is proposed.

Section 22, Schedule 5-1: Interior Lot Shape (Diameter) of 33 feet is required, where 7 feet is existing and no change is proposed.



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Marie DeSoucey
 Land Use & Development Official
 office 732.842.3300
 fax 732.219.0714
 mdesoucey@rumsonnj.gov

Memorandum – Denial Memo

Date: February 20, 2025, updated March 7, 2025

Applicant: Paul and Sharon Schifano
 Property Address: 44 Lennox Avenue, Rumson, New Jersey 07760
 Block 37, Lot 20, Zone: R-5

Applicant’s Request to:

Raze existing dwelling and construct new 2-1/2 story, 4-bedroom, single family dwelling with attached pergola, detached garage, in-ground pool, and patio on a nonconforming corner lot.

Was **denied** for the following preliminary reasons:

- Variances requested by applicant

Borough of Rumson Ordinances/Development Regulations:

		<u>Required</u>	<u>Existing</u>	<u>Proposed</u>	<u>Nonconformity</u>
1	Sched 5-1: Lot Frontage & Width (Lennox Ave)	75 Ft	50 Ft	No Change	Existing
2	Sched 51: Lot Shape Diameter	33 Ft	7 Ft	No Change	Existing
3	Sched 5-1: FYSB - (Lakeside Ave)	35 Ft	10 Ft	10.1 Ft	New
4	Sched 5-1: FYSB Wrap around Porch (Lakeside Ave)	30 Ft	na	5.58 Ft	New
5a	22-9.2b1 Number of Parking Spaces	3 Rounded Up		2	New 3 spaces req.
5b	22-9.2b5 Location of Parking Spaces	Behind FYSB		Non Conforming	New In FYSB

When applying to the Zoning Board of Adjustment, keep in mind that the applicant is responsible to submit a full list of variiances being requested. Your professional can help prepare this. Should additional variiances be required to complete the work at this site, the applicant will be required to return to the Zoning Board of Adjustment for approval.

This review was based on submitted drawings prepared, signed & sealed by Anthony Condouris, AI, dated February 19, 2025, rev (1) February 20, 2025, consisting of three (3) sheets.

If you have any questions or require additional information, please do not hesitate to contact me.


Marie DeSoucey
Land Use and Development Official

Cc: Thomas Rogers, Borough Clerk/Administrator
David M. Marks, P.E., C.M.E., Borough Engineer
Sabine O'Connor, Technical Assistant



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Date: February 20, 2025

Applicant: Paul and Sharon Schifano
Property Address: 44 Lennox Avenue, Rumson, New Jersey 07760
Block 37, Lot 20, Zone: R-5

Applicant's Request to:

Raze existing dwelling and construct new 2-1/2 story, 4-bedroom, single family dwelling with attached pergola, detached garage, in-ground pool, and patio on a nonconforming corner lot.

Was **denied** for the following preliminary reasons:

- Variances requested by applicant

Borough of Rumson Ordinances/Development Regulations:

		<u>Required</u>	<u>Existing</u>	<u>Proposed</u>	<u>Nonconformity</u>
1	Sched 5-1: Lot Frontage & Width (Lennox Ave)	75 Ft	50 Ft	No Change	Existing
2	Sched 5-1: Lot Shape Diameter	33 Ft	7' unk	No Change	Existing
3	Sched 5-1: FYSB - (Lakeside Ave)	35 Ft	10' unk	10.1 Ft	New
4	Sched 5-1: FYSB Wrap around Porch (Lakeside Ave)	30 Ft	10' unk	5.58 Ft	New
5	Sched 5-1: SYSB Escape Well	8 Ft	na	6.1 Ft	New

- Incomplete/incorrect submission

The February 20, 2025 Land Use & Development Permit application review, was based on submitted drawings prepared, signed & sealed by Anthony Condouris, AI, dated February 19, 2025, consisting of three (3) sheets. The following information, clarification and/or corrections shall be made prior to submission to the Zoning Board of Adjustment.

Additional nonconformities may be identified following the revisions which the applicant should identify.

- ✓ • The site plan on sheet Z-1 shows a proposed 1-car detached garage. Architectural plans/specifications are required for approval.
- ✓ • The proposed plan is lacking driveway details and is therefore deficient in demonstrating compliance with the driveway limitations of Ordinance 22-7.26.
- • The proposed plan is deficient of the required off street parking required by Ordinance 22-9.2b for amount of spaces required and approved parking areas.
- The Zoning Chart requires the following modifications:
 - ✓○ Zoning Data shall show existing and proposed setbacks (per application instructions).
 - ✓○ The Interior lot shape diameter not filled in (required for any resolution).
 - ✓○ The proposed rear yard setback is to the attached pergola (22-7.8).
 - ✓○ The minimum pool setbacks are incorrect (22-7.8).

When applying to the Zoning Board of Adjustment, keep in mind that the applicant is responsible to submit a full list of variances being requested. Your professional can help prepare this. Should additional variances be required to complete the work at this site, the applicant will be required to return to the Zoning Board of Adjustment for approval.

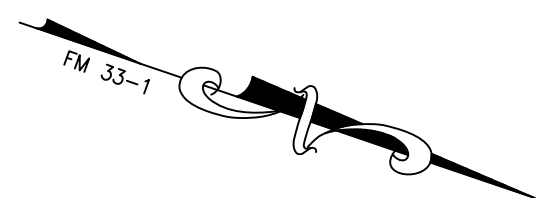
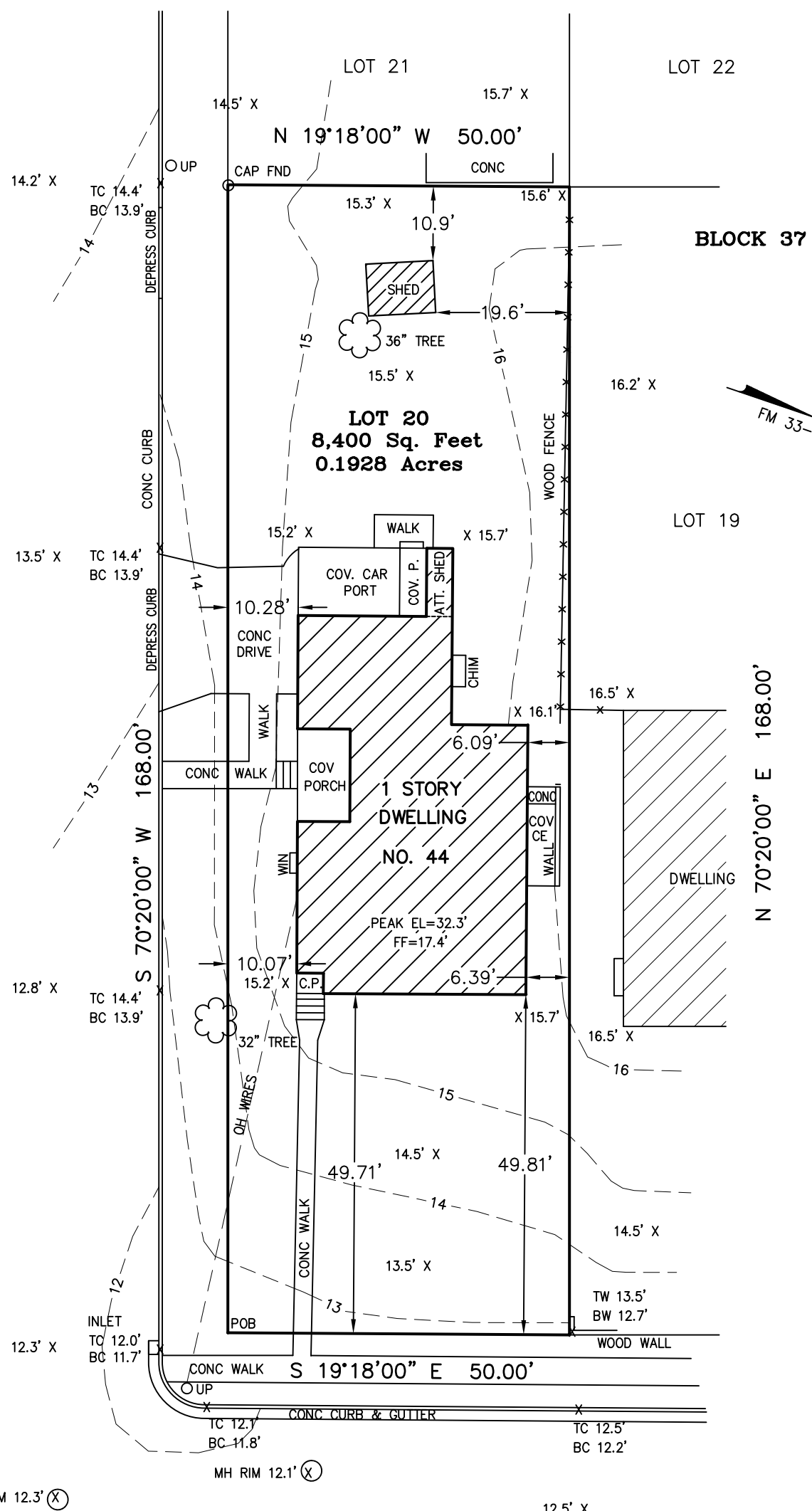
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Marie DeSoucey
Land Use and Development Official

Cc: Thomas Rogers, Borough Clerk/Administrator
David M. Marks, P.E., C.M.E., Borough Engineer
Sabine O'Connor, Technical Assistant

LAKESIDE (50' ROW) AVENUE

LENNOX (50' ROW) AVENUE



NOTES:

1. THE PROPERTY IS KNOWN AS LOT 20 IN BLOCK 37 AS SHOWN ON THE OFFICIAL TAX MAP OF THE BOROUGH OF RUMSON.
2. THE PROPERTY IS ALSO KNOWN AS LOT 82 AS SHOWN ON A CERTAIN MAP ENTITLED "MAP OF PARMLY PARK" SAID MAP WAS FILED IN THE OFFICE OF THE MONMOUTH COUNTY CLERK ON 6/16/1925 AS MAP NUMBER 33-1.
3. THIS SURVEY IS SUBJECT TO ANY EASEMENTS OF RECORD AND OTHER PERTINENT FACTS WHICH MAY BE DISCLOSED BY A TITLE SEARCH, UNDERGROUND STRUCTURES NOT LOCATED.
4. OFFSET DIMENSIONS FROM STRUCTURE TO THE PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES.
5. ELEVATIONS SHOWN HEREON ARE BASED ON 1988 DATUM OBTAINED USING GPS.

<p>LOCATION & TOPOGRAPHIC SURVEY PREPARED FOR "ATLANTIC BUILDERS" LOT 20 IN BLOCK 37 SITUATED IN BOROUGH OF RUMSON, MONMOUTH COUNTY, NEW JERSEY</p>			
	<p>LAND CONTROL SERVICES, LLC SURVEYING & MAPPING 620 WARDELL STREET LONG BRANCH, NEW JERSEY 07740 (732) 229-7628 landcontrol1@gmail.com</p>	DATE	11/04/2024
		SCALE	1" = 20'
<p>JAMES B. GODDARD, PLS LICENSE NO. 37588</p>		DRAWN	CWK
		CHECKED	JBG
		FILE NO.	2491
		SHEET	1 OF 1

NEW CONSTRUCTION FOR PAUL & SHANNON SCHIFANO

44 LENNOX AVENUE
RUMSON, NEW JERSEY
BLOCK 37 ~ LOT 20

Zone: R-5 Date: 1/14/25
Applicant: Block: 37
Address: 44 LENNOX AVE Lot: 20

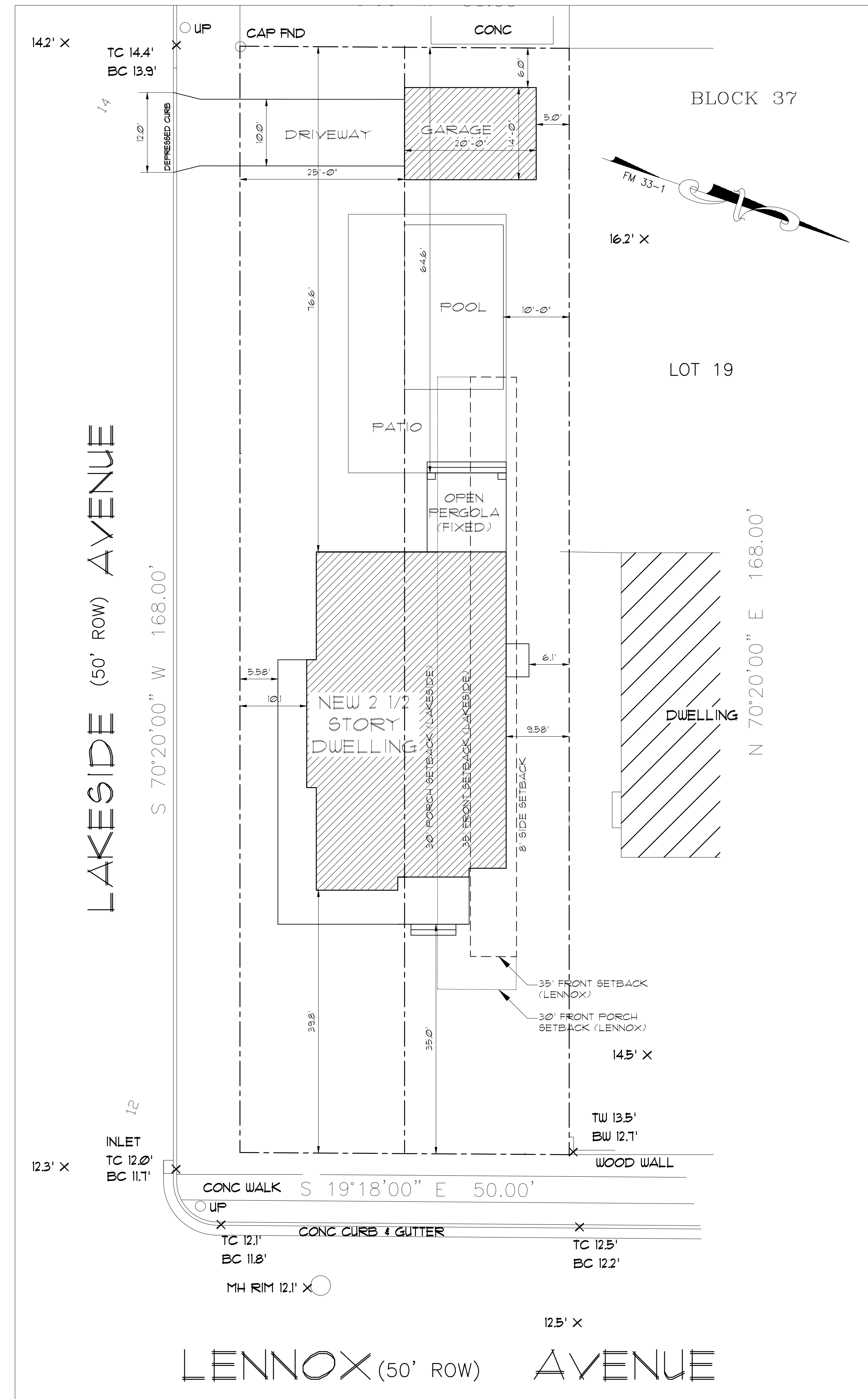


REQUIREMENTS	EXISTING	PROPOSED	COMMENTS	
Minimum Lot Area	8,000 SF	8,400 SF		
Minimum Lot Width/Lot Frontage PRIMARY	75 ft.	50 ft.	EXISTING NON-CONFORMITY	
Minimum Lot Width/Lot Frontage SECONDARY	75 ft.	168 ft.		
Interior Lot Shape Circle	33 ft.	7 ft.	EXISTING NON-CONFORMITY	
Principal Structure	Bldg/Porch	Bldg/Porch	Bldg/Porch	
PRIMARY Front Yard Setback	35 ft 30 ft	49.5 ft 49.5 ft	39.8 ft 35 ft	
SECONDARY Front Yard Setback	35 ft 30 ft	10 ft 10 ft	101 ft 5.58 ft	VARIANCE REQUIRED
Minimum Side Yard setback	8 ft.	6 ft.	9.58 ft. HOUSE 6.1 ft. ESCAPE WELL	VARIANCE REQUIRED
Minimum Rear Yard setback	50 ft.	53 ft.	64.6 ft.	
Building Height				
Ridge	35 ft.		33 ft.	
Eaves	26 ft.		22 ft.	
Accessory Building				
Minimum Side Yard setback	5 ft.		6 ft.	
Rear Yard setback	5 ft.		5 ft.	
Height	15 ft.		15 ft.	
Accessory Structure (POOL)				
Minimum Side Yard setback	10 ft.		10 ft.	
Minimum Rear Yard setback	10 ft.		27 ft.	
Permitted Lot Coverage, Building Coverage Floor Area				
Max. Lot Coverage	3,459 sf.		2,833 sf.	
Max. Build Coverage	1,791 sf.		1,791 sf.	
Maximum Floor Area	3,020 sf.		2,969 sf.	
Floor Area Ratio	0.37		0.353	
Off Street Parking Requirements				
Number of Spaces	2.5		2.0	VARIANCE REQUIRED

FLOOR AREA CALCULATIONS	
	PROPOSED
FIRST FLOOR (INSIDE WALLS)	1,371
SECOND FLOOR (INSIDE WALLS)	1,101
ATTIC (AREAS ABOVE 7 FEET HEIGHT)	367
DETACHED GARAGE	260
SUB-TOTAL PRE CREDITS	3,099
DETACHED GARAGE CREDIT	-130
TOTAL FLOOR AREA	2,969
60% OF SECOND FLOOR AREA	660
ATTIC (AREAS ABOVE 5 FEET HEIGHT) (LESS THAN 60%)	540

LOT COVERAGE CALCULATIONS	
	PROPOSED
HOUSE (OUTSIDE WALLS)	1,490
FRONT PORCH	294
DETACHED GARAGE	260
PATIO	566
POOL	375
OPEN FIXED PERGOLA	143
DRIVEWAY	226
SUB TOTAL (BEFORE CREDITS)	3,374
FRONT PORCH CREDIT (UP TO 10% GROUND FLOOR AREA INSIDE WALLS)	-137
DETACHED GARAGE CREDIT	-130
DECK/PATIO CREDIT (UP TO 20% OF GROUND FLOOR AREA)	-214
TOTAL LOT COVERAGE (3459 MAX)	2,893

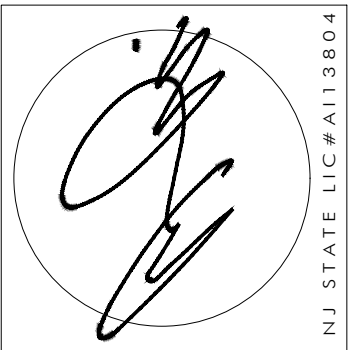
BUILDING COVERAGE CALCULATIONS	
	PROPOSED
HOUSE (OUTSIDE WALLS)	1,490
FRONT PORCH	294
DETACHED GARAGE	260
SUB TOTAL (PRE-CREDITS)	2,064
DETACHED GARAGE CREDIT	-130
FRONT PORCH CREDIT (UP TO 10% GROUND FLOOR AREA)	-137
TOTAL BUILDING COVERAGE	1,797



10 SITE PLAN

SCALE: 1" = 10'-0"

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

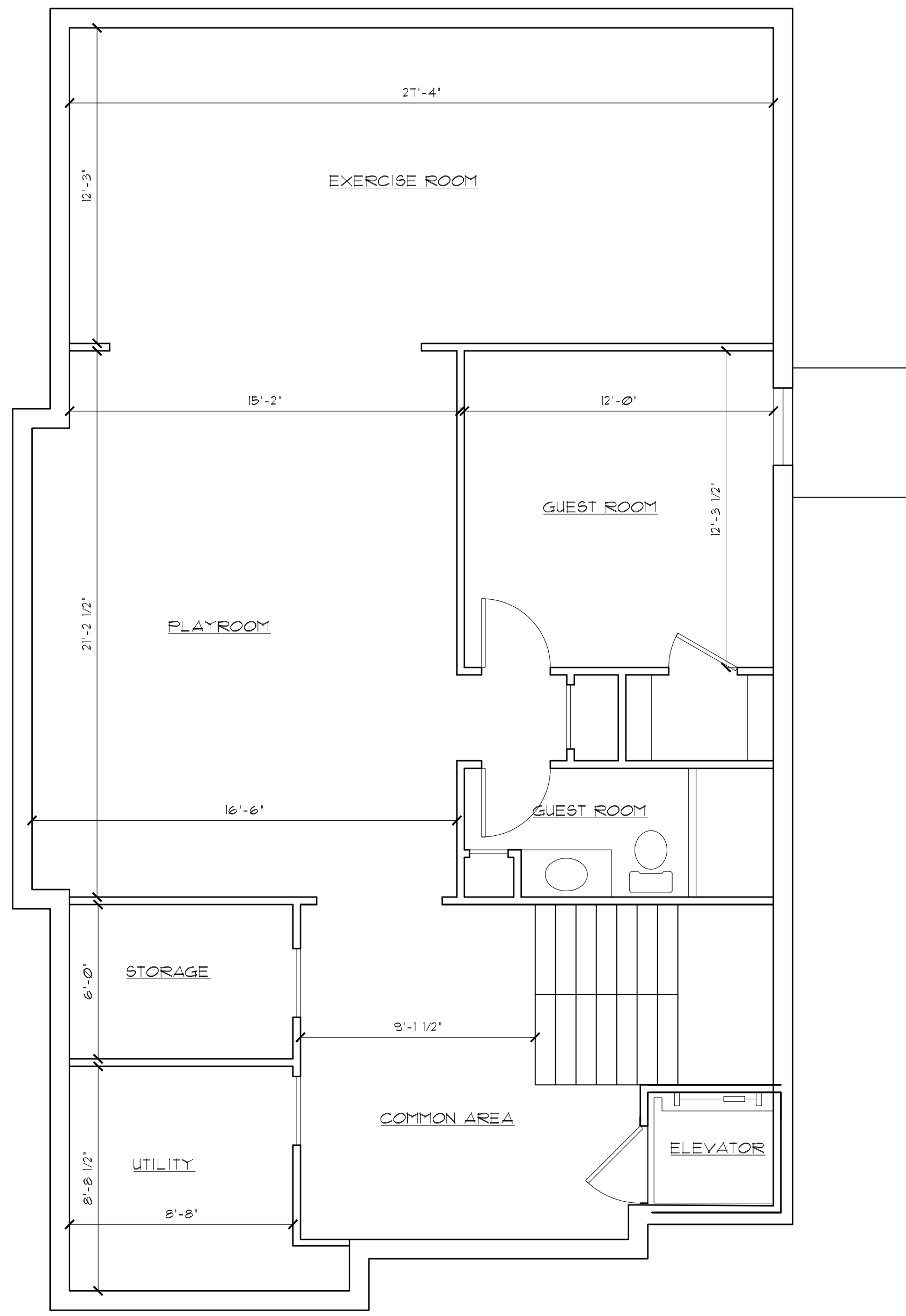


ARCHITECT
ANTHONY M. COONDOURIS
20 BINGHAM AVENUE, RUMSON, NJ 07760
PHONE: 732-842-3800 - FAX: 732-842-7777 - email: info@amcarchitect.com - WWW.AMARCHITECT.COM

REVISIONS	DATE
PER ZONING REVIEW 7/20/25	2/24/25

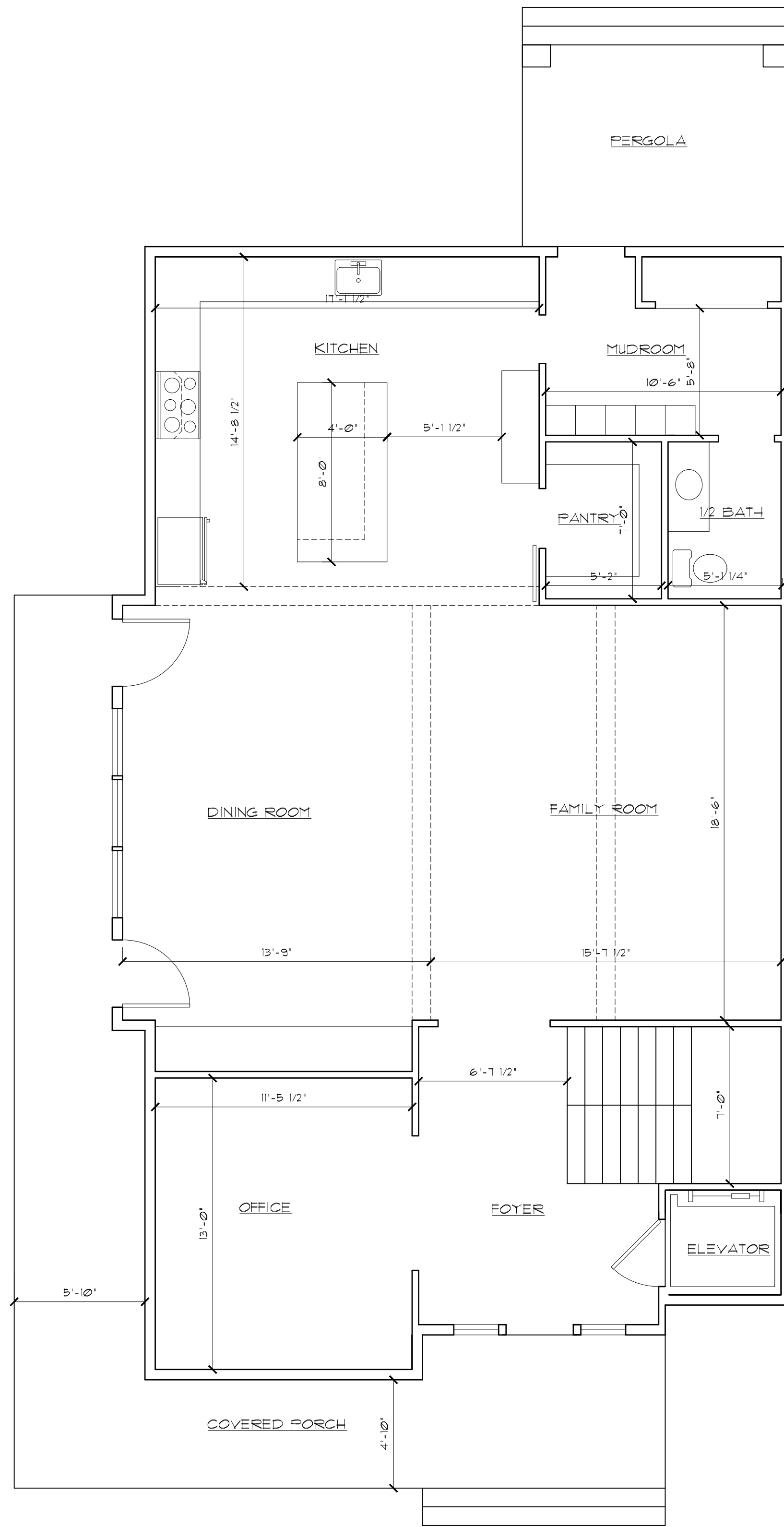
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ADDRESS: 44 LENNOX AVE RUMSON, NEW JERSEY
JOB NUMBER: 25-004
BLOCK: 37 LOT: 20

DATE: 2/19/25
DRAWN BY: MB
SHEET NO.: Z-1

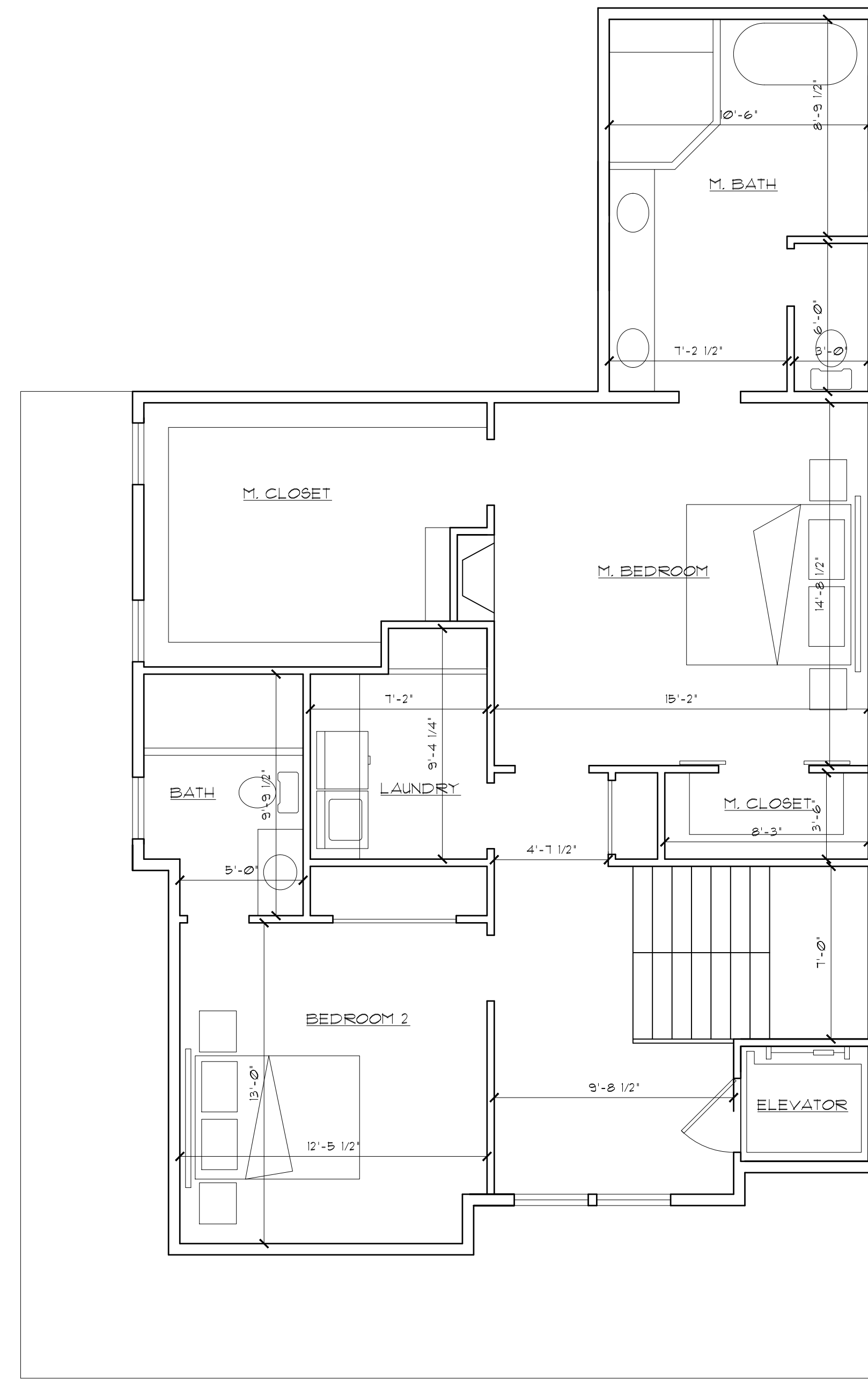


CELLAR CEILING HEIGHT 9 FOOT MAX

10 CELLAR PLAN SCALE: 1/4" = 1'-0"

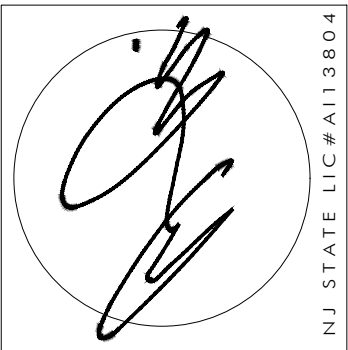


20 FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"



30 SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.

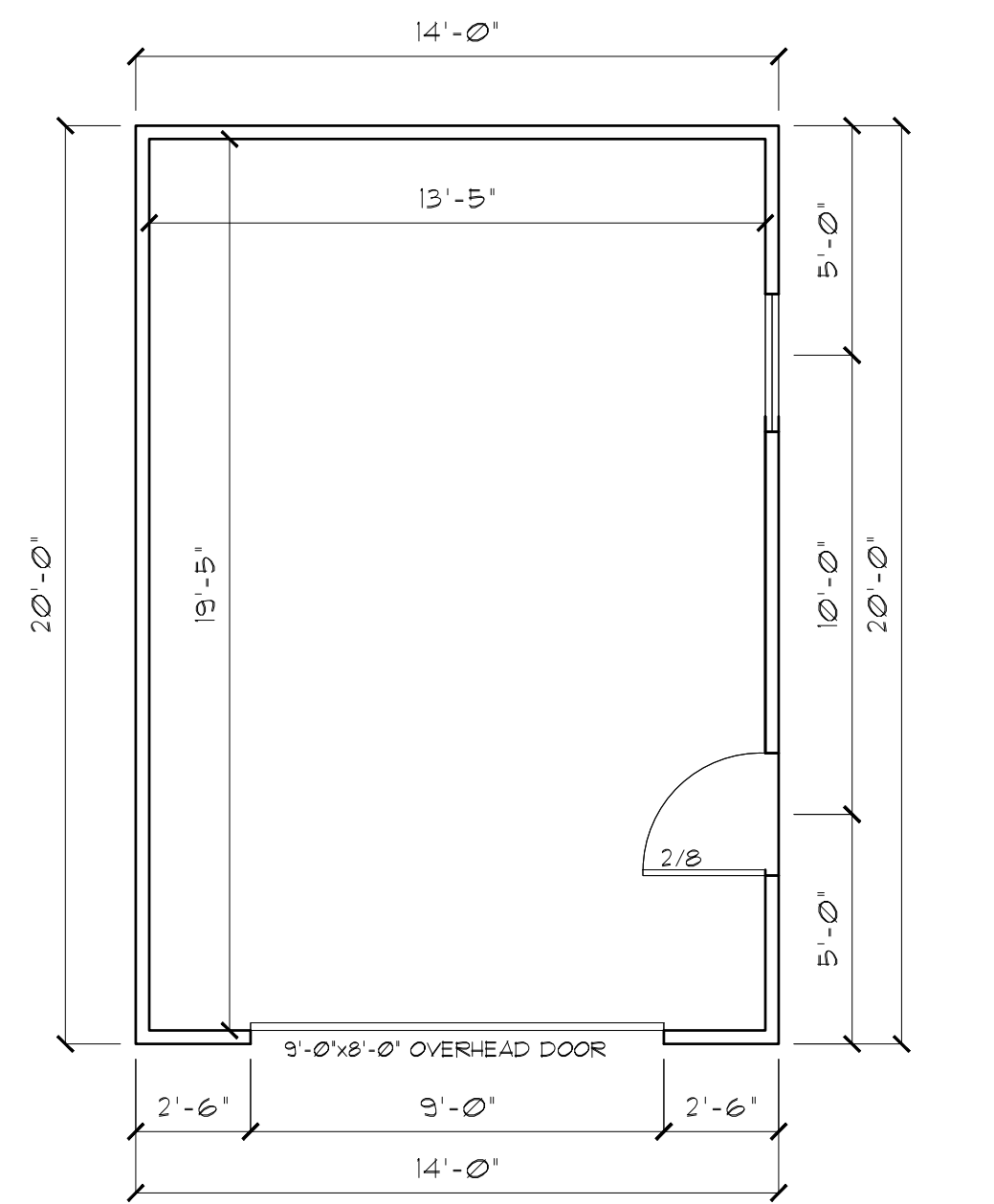


ANTHONY M. CONDO ARCHITECTS
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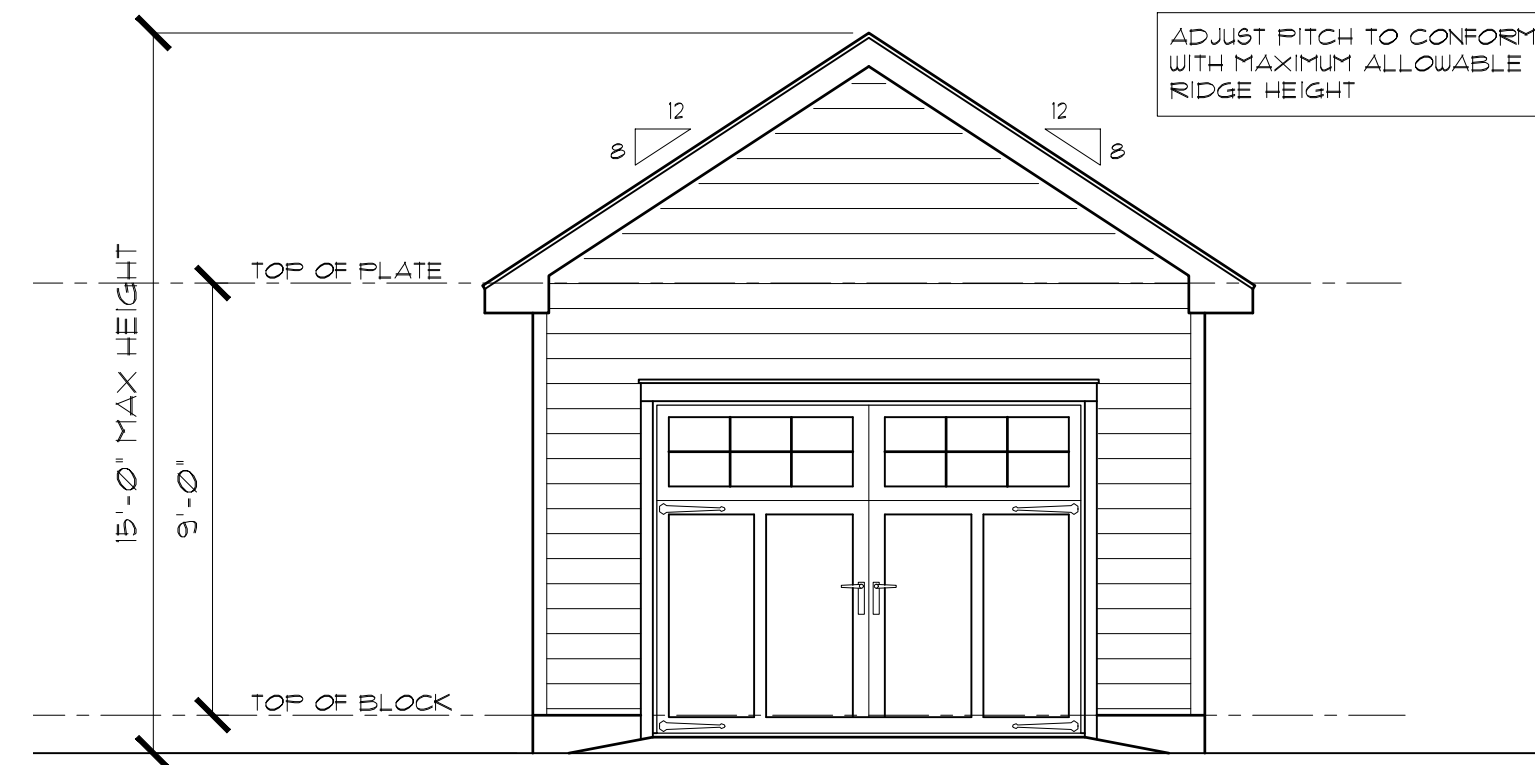
REVISIONS	DATE
PER ZONING REVIEW 7/20/25	2/24/25

CLIENT: PAUL & SHANNON SCHIFANO
 ADDRESS: 44 LENNOX AVE, RUMSON, NEW JERSEY
 JOB NUMBER: 25-004
 BLOCK: 31
 LOT: 20

DATE: 2/19/25
 DRAWN BY: MB
 SHEET NO. Z-2



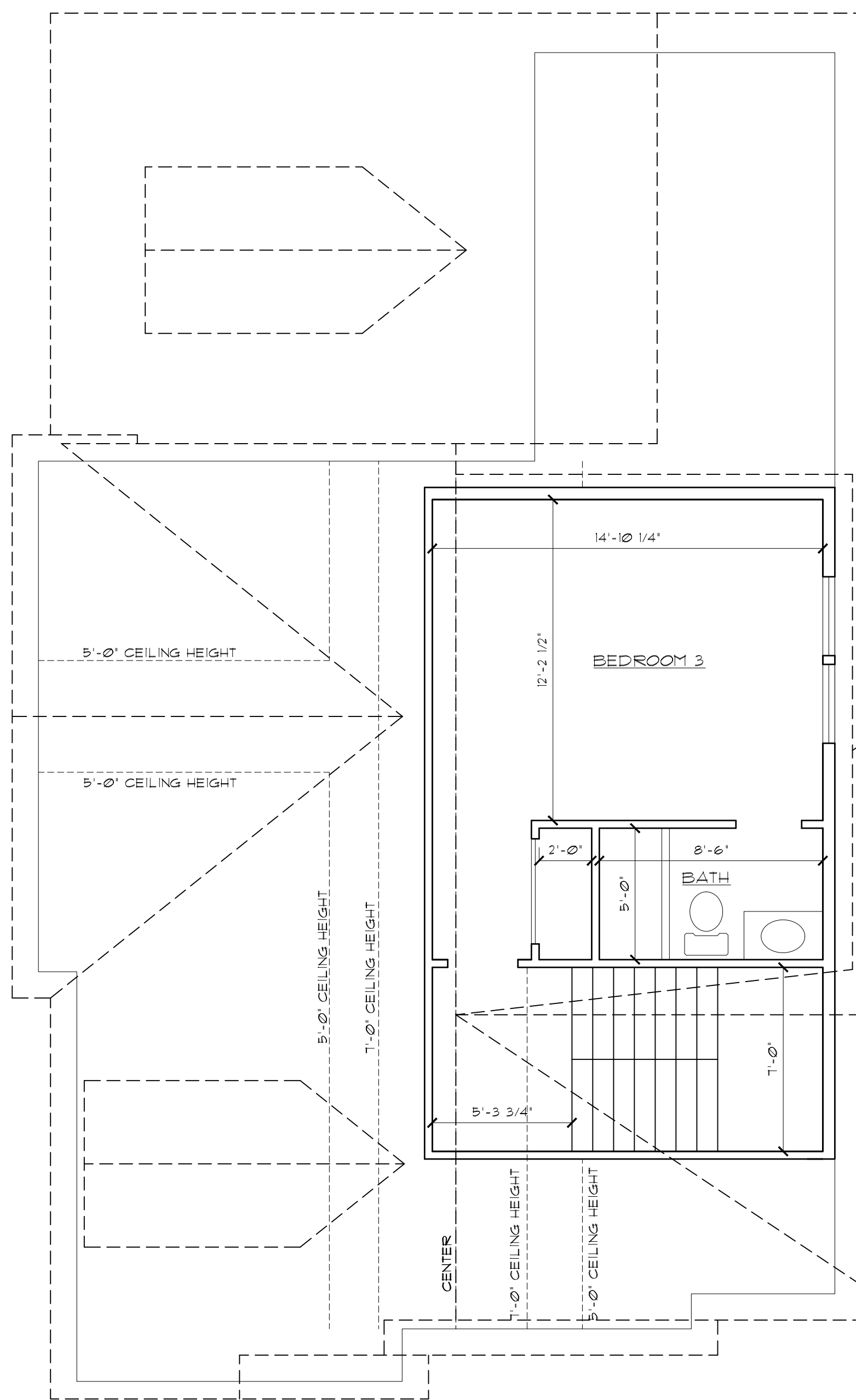
80 GARAGE PLAN
SCALE: 1/4" = 1'-0"



60 GARAGE LAKESIDE ELEVATION
SCALE: 1/4" = 1'-0"



70 GARAGE RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



50 ATTIC PLAN
SCALE: 1/4" = 1'-0"



10 LENNOX ELEVATION
SCALE: 3/16" = 1'-0"



20 LAKESIDE ELEVATION
SCALE: 3/16" = 1'-0"

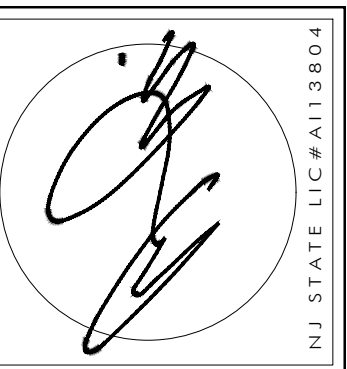


30 REAR ELEVATION
SCALE: 3/16" = 1'-0"



40 SIDE ELEVATION
SCALE: 3/16" = 1'-0"

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO THE START AND COMPLETION OF WORK.



AMERICAN CONDOURIS ARCHITECT
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REVISIONS	DATE
Δ	2/24/25
Δ	PER ZONING REVIEW 2/20/25

CLIENT	PAUL & SHANNON SCHIFANO
ADDRESS	44 LENNOX AVE RUMSON, NEW JERSEY
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LOT	20
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