



**Borough of Rumson**  
BOROUGH HALL  
80 East River Road  
Rumson, New Jersey 07760-1689  
rumsonnj.gov

**APPLICATION TO THE ZONING BOARD OF ADJUSTMENT**

The Monkeyhouse Trust lastella+f@ 307-241-0015  
Name of Applicant Email Phone Number  
gmail.com  
11 Shrewsbury Drive  
Property Address 135 10  
Block Lot

Name of Owner (IF NOT APPLICANT)  
*A corporation, S-Corp, LLC or LLP MUST be represented by a licensed attorney in the State of New Jersey.*

John B. Anderson, III, Foss, San Filippo + Milne, LLC, 225 Broad Street, PO Box  
Applicant's Attorney and contact information (if any) 896, Red Bank, NJ 07701

Deck Remodelers, LLC, 2 Wilson Drive, Suite 1, Sparta, NJ 07871  
Applicant's Architect and contact information (if any)

Applicant's Engineer and contact information (if any)

  
Signature of Applicant or Agent 11/7/2024  
Date

*Proposed plan* Applicant proposes to install an approximately 278  $\pi$   
covered/paved area atop an existing rear deck inclusive of  
a stone fire feature and slatted privacy wall

*Variances requested*

Schedule 5-4. A variance to exceed allowable building  
coverage,  
schedule 5-1. A variance to allow a continuation of  
an existing non-conforming rear setback  
Existing conditions: a) lot size; b) front setback; c) side setback; and d) forward facing garage and parking in front yard



**Borough of Rumson**  
 BOROUGH HALL  
 80 East River Road  
 Rumson, New Jersey 07760-1689  
 rumsonnj.gov

**Marie DeSoucey**  
 Land Use & Development Official  
 office 732.842.3300  
 fax 732.219.0714  
 mdesoucey@rumsonnj.gov

## Denial Memorandum

Date: October 29, 2024

Applicant: Thomas & Kate La Stella

Property Address: 11 Shrewsbury Drive      Block Lot      Zone  
 Rumson, NJ 07760      135      10      R-2

I have reviewed the Land Use & Development Permit application for a new 278 square foot roof over a portion of the existing rear deck, stone fire feature and slatted privacy wall.

Supporting documents include:

- (Copy of) Survey of Property with Tidelands prepared by Morgan Engineering & Surveying, signed by David J. Von Steenburg, PLS, dated July 28, 2022.
- Architectural Plans prepared, signed & sealed by ArKhema Design for Deck Remodelers, LLC, dated August 15, 2024, no revisions, consisting of four (4) sheets.
- Elevation Certificate for 11 Shrewsbury Drive.
- Proposed Rendering by Deck Remodelers.

Was **denied** for the following non-conformities:

### Borough of Rumson Ordinances / Chapter 22 Development Regulations

		<u>Required</u>	<u>Existing</u>	<u>Proposed</u>	<u>Nonconformity</u>
1	Sched 5-4: Maximum Building Coverage	3,878 SF	3,712 SF	3,990 SF	<b>New</b>
2	Sched 5-1: RYSB	40'	32.9' to open deck	32.9' to covered deck	<b>New</b>
3	Sched 5-1: Lot size	1.0 acre	38,764 SF		<b>Existing, n/c</b>
4	Sched 5-1: FYSB - Principal Dwelling	75'	50.9'		<b>Existing, n/c</b>
5	Sched 5-1 (note 7): SYSB minimum	34'	22.1'		<b>Existing, n/c</b>
6	22-7.26 Garage Doors visible from street	No	existing		<b>Existing, n/c</b>
7	22-9.2b5 Off-Street Parking in Front Yard	No	existing		<b>Existing, n/c</b>

With regard to the submitted plans, I offer the following comments regarding revisions required prior to being scheduled to go before the Zoning Board of Adjustment:

- The zoning chart requirements incorrectly refers to the R-3 Zone.
- Correct the existing Lot Area to reflect the area provided by Morgan Engineering & Surveying. Recalculate maximum permitted coverages.

If you have any questions or require additional information, please do not hesitate to contact me.

  
Marie DeSoucey  
Land Use & Development Official

Cc: Thomas Rogers, Borough Clerk/Administrator  
David M. Marks, P.E., C.M.E., Borough Engineer  
Sabine O'Connor, Technical Assistant



Borough of Rumson  
BOROUGH HALL  
80 East River Road  
Rumson, New Jersey 07760-1689  
rumsonnj.gov

Marie DeSoucey  
Land Use & Development Official  
office 732.842.3022  
mdesoucey@rumsonnj.gov

**DENIED**

OCT 16 2024

## LAND USE & DEVELOPMENT PERMIT

Date: 10-16-24

Fee: \$ 5703

Check # 50

ALL RESIDENTIAL APPLICATIONS \$50

ALL COMMERCIAL APPLICATIONS \$100

Checks shall be made payable to: Borough of Rumson.

With this application you are required to submit one (1) copy of a current survey/plot plan/site plan and one (1) set of architectural plans. Surveys must show the existing conditions and exact location of physical features including metes and bounds, drainage, waterways, specific utility locations and easements, all drawn to scale. All surveys *must* be prepared by a land surveyor (signed/sealed). Architectural plans must show Zoning data existing and proposed setbacks (Schedule 5-1), Building Height (Schedule 5-2), Lot Coverage and Building Coverage (Schedule 5-4) and Floor Area (Schedule 5-3).

ALL APPLICATIONS MUST INCLUDE A PLAN(S), SURVEY AND/OR SKETCH. SUBMIT ALL PDF'S TO [MDESOUCEY@RUMSONNJ.GOV](mailto:MDESOUCEY@RUMSONNJ.GOV) UPON SUBMISSION OF THE LAND USE & DEVELOPMENT PERMIT.

PLEASE CONFIRM A DIGITAL COPY HAS BEEN PROVIDED UPON SUBMISSION.

ALL FLOOD ZONE APPLICATIONS MUST BE ACCOMPANIED WITH AN ELEVATION CERTIFICATE

- \*\* Pools require a fence. Please indicate type, height, and area of fence and location of filter/heater.
- \*\*\* Air Conditioner Units: Please indicate proposed location & provide specifications which show the height.
- Generators: Please indicate proposed location & provide specifications which show that the unit has a Critical Muffler & Sound Attenuation Enclosure. These must be screened from neighboring properties and the street.

(Please Print Clearly)

1. Location of property for which Permit is desired:  
Street Address: 11 Shrewsbury Drive Block: 135 Lot 10 Zone: R-2
2. Applicant's Name: Deck Remodelers, LLC Address: 2 Wilson Dr, Ste 1, Sparta NJ 07871  
Email production@deckremodelers.com Tel. 973-729-2125 x3
3. Property Owner's Name: Tommy & Katie La Stella Address: 11 Shrewsbury Dr, Rumson NJ 07760  
Email t11ss3@aim.com Tel. 307-241-0015
4. Description of Work: Full roof structure (278sf) w/footings and columns over existing deck,  
stone fire feature, and slatted privacy wall

Has the above premises been the subject of any prior application to the Planning Board/ Zoning Board of Adjustment?

Yes \_\_\_ No X If yes, state date: \_\_\_\_\_ (Submit a copy of the Resolution)

Board: \_\_\_\_\_ Resolution # (if any): \_\_\_\_\_

Applicant certifies that all statements and information made and provided as part of this application are true to the best of his/her knowledge, information and belief. Applicant further states that all pertinent municipal ordinances, and all conditions, regulations and requirements of site plan approval, variances and other permits granted with respect to said property, shall be complied with. All Zoning Permits will be granted or denied within ten (10) business days from the date of complete application.

E. Tranner  
Signature of Applicant

11/10/24  
Date

Elena Gnatyuk- Contact for Deck Remodelers  
Print Applicant's Name

TL  
Signature of Owner (if different than applicant)

22/07/24  
Date

Thomas LaStella  
Print Owner's Name (if different than applicant)

**FOR OFFICE USE**

Approved \_\_\_\_\_ Denied ✓

COMMENTS:

See Attached Memo dated 10/29/24  
(\* Max bldg coverage exceeded)  
(\* Rear yard setback)

Appeals of the Office's determination must be filed within 20 days of the date of issuance to the Planning/Zoning Board as provided by the New Jersey Municipal Land Use Law. *This limitation is not imposed if the applicant is seeking a variance, site plan, or subdivisions.* The Board reserves the right to deem additional information and/or variances required. Approved permits are valid for one (1) year, and may be extended by action of the Zoning Board.

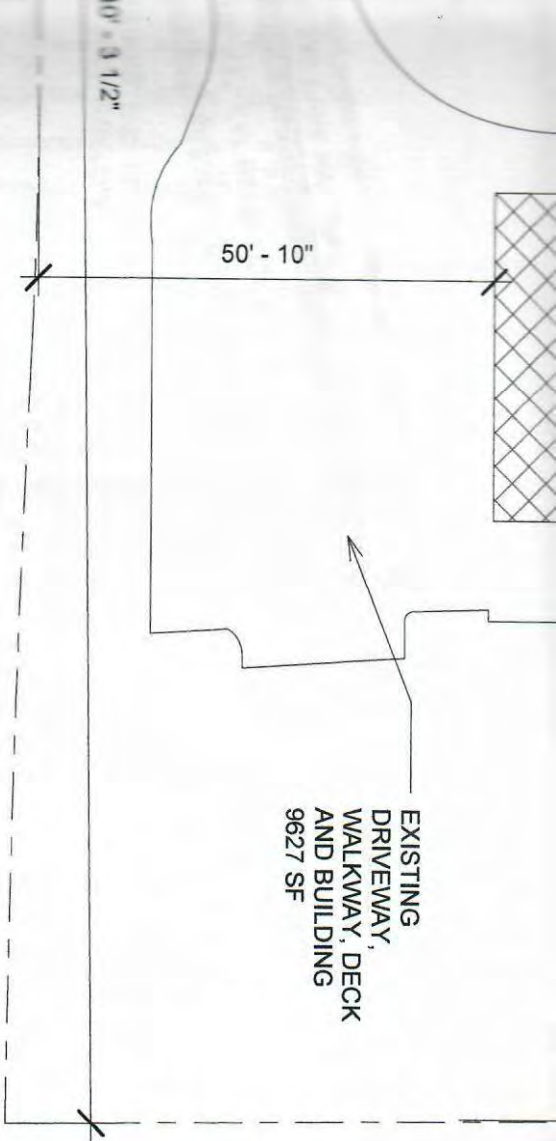
Marie DeSoucey  
Marie DeSoucey  
Land Use & Development Official

10/29/24  
Date

La Stella- 11 Shrewsbury Dr

Proposed Rendering





EXISTING DRIVEWAY, WALKWAY, DECK AND BUILDING  
9627 SF

PROVIDED BY OWNER

From 240-150 = 90 + 5 = 18 x 1.5 = 27  
SYSB = 34 / 77 comb

CONFORMANCE

- YES; EXISTING; NO CHANGE
- YES; EXISTING; NO CHANGE
- NO; EXISTING; NO CHANGE
- EXISTING NON COMPLIANCE; NO CHANGE
- NO; NEW PROPOSED
- NO; NEW PROPOSED
- NO; NEW PROPOSED

( )  
ING) + 278 SF (NEW ROOF) =

78 SF (NEW ROOF) = 8413 SF

NO; NEW PROPOSED

# LA STELLA COVERED ROOF PROJECT

11 SHREWSBURY DRIVE, RUMSON, NJ 07760

CODE SUMMARY AND BULK REQUIREMENT

**DENIED**

Project number	20240815
Date	08/15/2024
Drawn by	JK
Checked by	JK

**G1**

Scale As indicated

No.	Description	Date

**ELEVATION CERTIFICATE**

**BUILDING PHOTOGRAPHS**

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 11 Shrewsbury Drive			Policy Number:
City Rumson	State New Jersey	ZIP Code 07760	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption Front view (07-28-2022)

Clear Photo One



Photo Two

Photo Two Caption Rear view (07-28-2022)

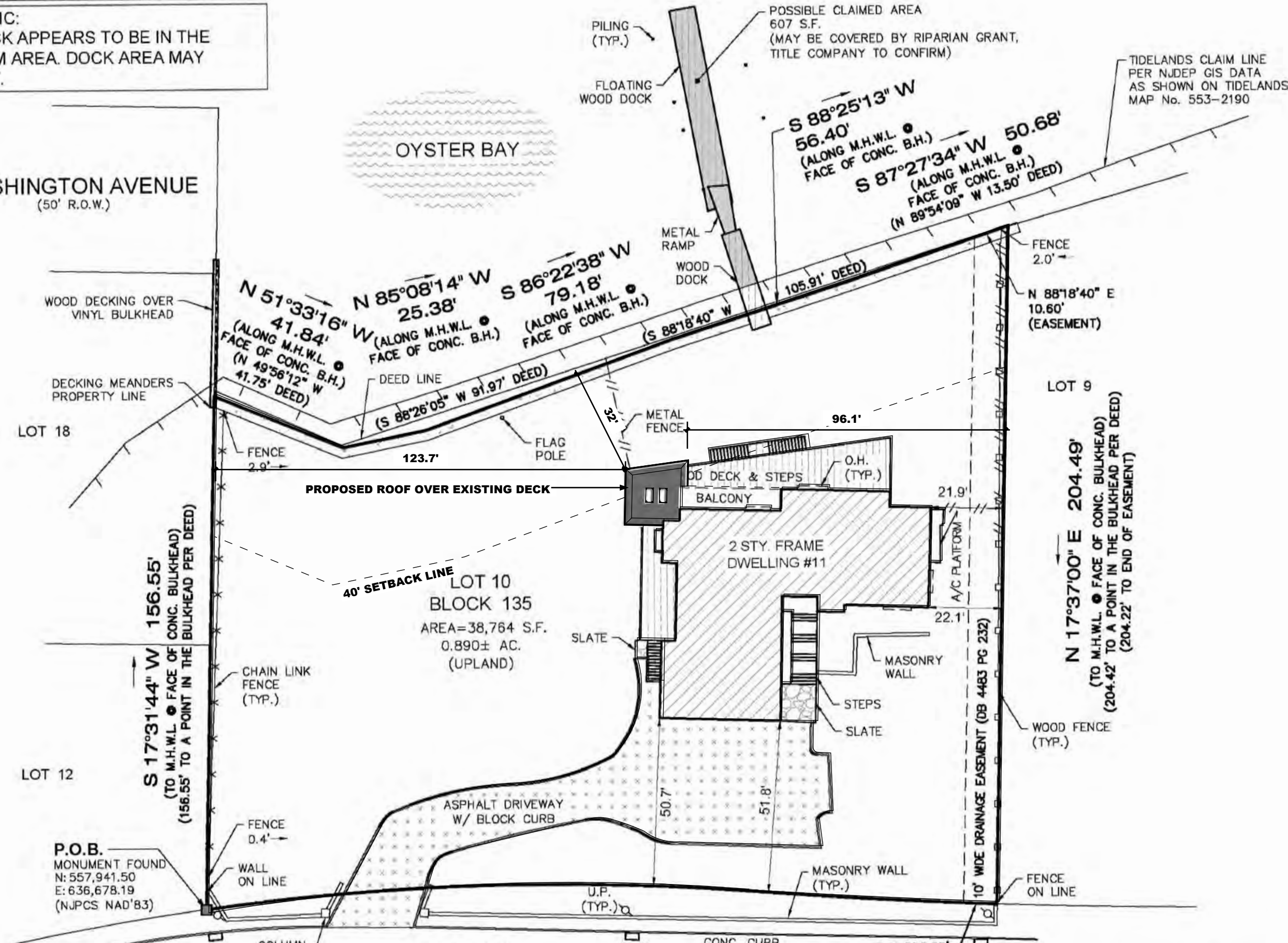
Clear Photo Two



TOGETHER WITH ALL RIGHT, TITLE & INTEREST IN AND TO A PORTION OF A RIPARIAN GRANT RECORDED IN THE M.C.C.O. ON 12/11/1882 IN DB 360 PG 266.

DISCUSSION TOPIC:  
RIPARIAN GRANT CONTAINS VAGUE DESCRIPTION AND CANNOT BE PLOTTED ACCURATELY.  
POSSIBLE CLAIM AREA MAY BE NEGATED BY GRANT. TITLE COMPANY TO CONFIRM.

DISCUSSION TOPIC:  
PORTION OF DOCK APPEARS TO BE IN THE TIDELANDS CLAIM AREA. DOCK AREA MAY REQUIRE PERMIT.



$R=770.00'$   
 $L=163.58'$   
 $CH=S75^{\circ} 18' 40''E$   
 $163.27'$

$R=1,890.00'$   
 $L=10.00'$   
 $(EASEMENT)$   
 $R=1,890.00'$   
 $L=75.25'$   
 $CH=S70^{\circ} 21' 57''E$   
 $75.25'$

IMPORTANT NOTES, PLEASE REVIEW:

- I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP OR PLAN MADE ON 7/28/22 BY ME OR UNDER MY DIRECT SUPERVISION IS IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR STRUCTURES OR WETLANDS, ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
- OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED TO REESTABLISH PROPERTY LINES.
- THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE, SUBJECT TO RESTRICTIONS AND EASEMENTS RECORDED AND/OR UNRECORDED.
- PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13:40-5.1(D))

PREPARED FOR: **THOMAS LaSTELLA**

TITLE INSURER: **GOLD COAST TITLE AGENCY, LLC (GCQ-500)**  
**OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY**

MORTGAGE HOLDER: **CITY NATIONAL BANK, A NATIONAL BANKING ASSOCIATION,**  
*its successors and/or assigns, as their interest may appear.*

BUYER'S ATTORNEY: **BURR LAW GROUP**



CERTIFICATE OF AUTHORIZATION: 24GA28229800

**MORGAN**  
engineering & surveying  
www.morganengineeringllc.com

P.O. BOX 5232  
TOMS RIVER, N.J. 08754  
TEL: 732-270-9690  
FAX: 732-270-9691

*DJO*

**DAVID J. VON STEENBURG**  
PROFESSIONAL LAND SURVEYOR  
N.J. LIC. No. 34500

**SURVEY OF PROPERTY WITH TIDELANDS**

LOT 10 BLOCK 135  
BOROUGH OF RUMSON  
COUNTY OF MONMOUTH NEW JERSEY

Scale: 1"=30'	Drawn By: SC	Date: 7/28/22	JOB #: 22-08419	CAJ File #: 22-08419	Sheet #: 1 OF 1
---------------	--------------	---------------	-----------------	----------------------	-----------------

DB 8165 PG 4303

TOGETHER WITH ALL RIGHT, TITLE & INTEREST IN AND TO A PORTION OF A RIPARIAN GRANT RECORDED IN THE M.C.C.O. ON 12/11/1882 IN DB 360 PG 266.

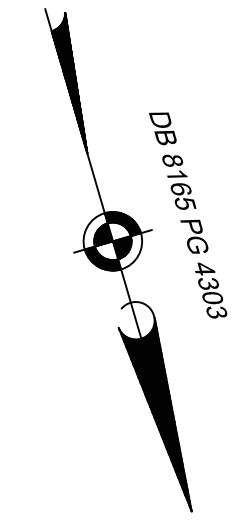
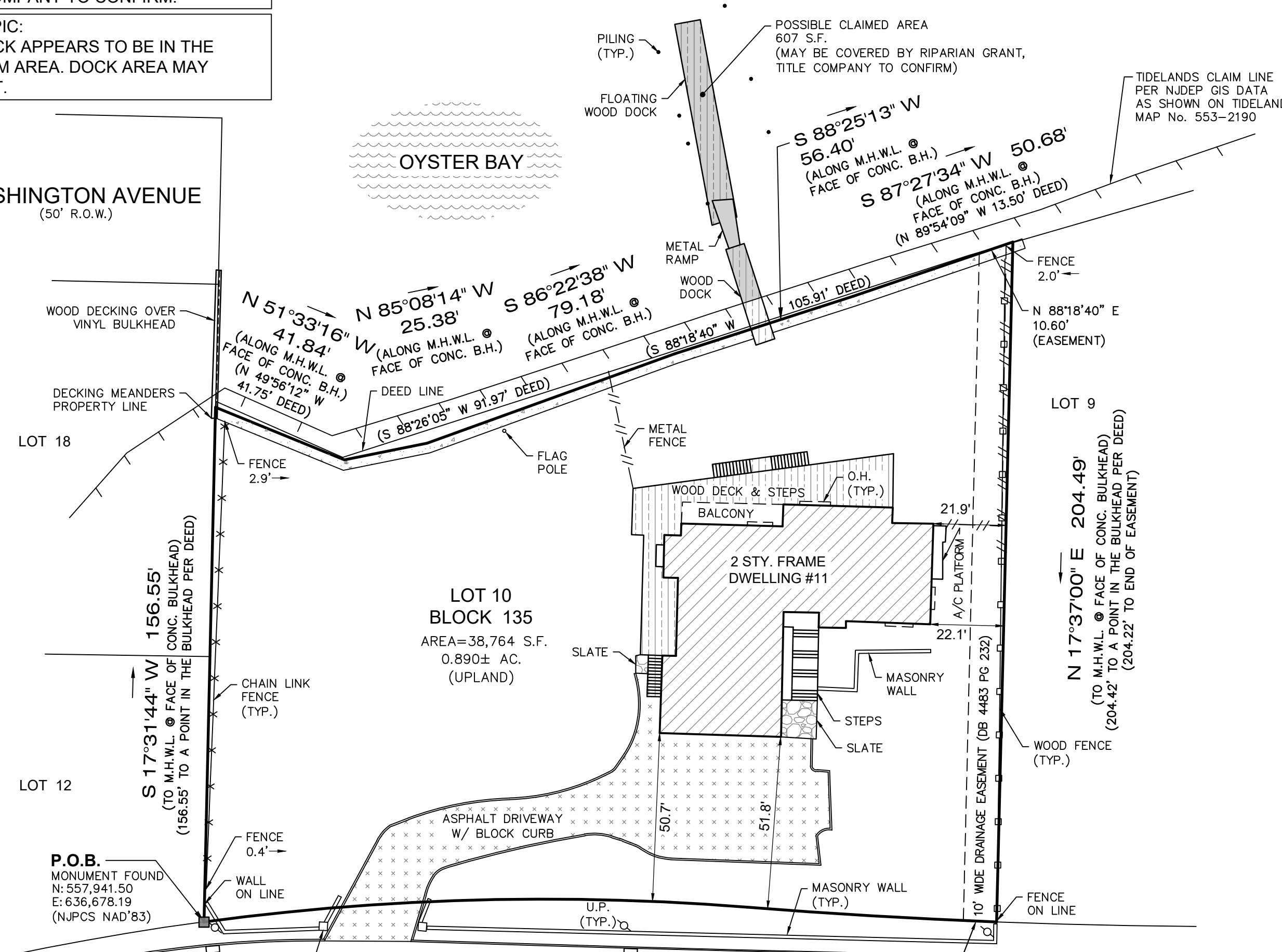
DISCUSSION TOPIC:  
RIPARIAN GRANT CONTAINS VAGUE DESCRIPTION AND CANNOT BE PLOTTED ACCURATELY.  
POSSIBLE CLAIM AREA MAY BE NEGATED BY GRANT. TITLE COMPANY TO CONFIRM.

DISCUSSION TOPIC:  
PORTION OF DOCK APPEARS TO BE IN THE TIDELANDS CLAIM AREA. DOCK AREA MAY REQUIRE PERMIT.

APPROXIMATE LOCATION OF COMMISSIONER'S EXTERIOR LINE PER GRANT

WASHINGTON AVENUE  
(50' R.O.W.)

OYSTER BAY



DB 8165 PG 4303

R=770.00'  
L=163.58'  
CH=S75° 18' 40"E  
163.27'

R=1,890.00'  
L=75.25'  
CH=S70° 21' 57"E  
75.25'

SHREWSBURY DRIVE  
(40' R.O.W.)

IMPORTANT NOTES, PLEASE REVIEW:

- I DECLARE THAT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THIS MAP OR PLAN MADE ON 7/28/22 BY ME OR UNDER MY DIRECT SUPERVISION IS IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- THIS SURVEY DOES NOT PURPORT TO IDENTIFY BELOW GROUND ENCROACHMENTS, UTILITIES, SERVICES LINES OR STRUCTURES OR WETLANDS. ENVIRONMENTALLY SENSITIVE AREAS, IF ANY ARE NOT LOCATED BY THIS SURVEY.
- OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES SHOWN HEREON ARE NOT TO BE USED TO REESTABLISH PROPERTY LINES.
- THIS SURVEY IS SUBJECT TO CONDITIONS WHICH AN ACCURATE TITLE SEARCH MIGHT DISCLOSE. SUBJECT TO RESTRICTIONS AND EASEMENTS RECORDED AND/OR UNRECORDED.
- PROPERTY CORNERS HAVE NOT BEEN SET AS PER CONTRACTUAL AGREEMENT. (N.J.A.C. 13:40-5.1(D))

DB 8165 PG 4303

PREPARED FOR: THOMAS LaSTELLA

TITLE INSURER: GOLD COAST TITLE AGENCY, LLC (GCQ-500)  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

MORTGAGE HOLDER: CITY NATIONAL BANK, A NATIONAL BANKING ASSOCIATION,  
its successors and/or assigns, as their interest may appear.

BUYER'S ATTORNEY: BURR LAW GROUP



CERTIFICATE OF AUTHORIZATION: 24GA28229800

**MORGAN**  
engineering & surveying  
www.morganengineeringllc.com

P.O. BOX 5232  
TOMS RIVER, N.J. 08754  
TEL: 732-270-9690  
FAX: 732-270-9691

*David J. Von Steenburg*

**DAVID J. VON STEENBURG**  
PROFESSIONAL LAND SURVEYOR  
N.J. LIC. No. 34500

**SURVEY OF PROPERTY  
WITH TIDELANDS**

LOT 10 BLOCK 135  
BOROUGH OF RUMSON  
COUNTY OF MONMOUTH NEW JERSEY

Scale:	Drawn By:	Date:	JOB #:	CAD File #:	Sheet #:
1"=30'	SC	7/28/22	22-08419	22-08419	1 OF 1

**CODE SUMMARY:**  
**NJAC 5:23 6.6**  
**IRC 2021 N.J. EDITION**

**DESIGN CRITERIA:**  
 WIND SPEED (RISK CATEGORY II) 115 MPH  
 WIND EXPOSURE CATEGORY B  
 ADJUSTMENT FACTOR 1.0  
 GROUND SNOW LOAD 30 LB/SF  
 SEISMIC DESIGN CATEGORY B  
 SOIL LOAD BEARING CAPACITY 3500 PSF ASSUMED

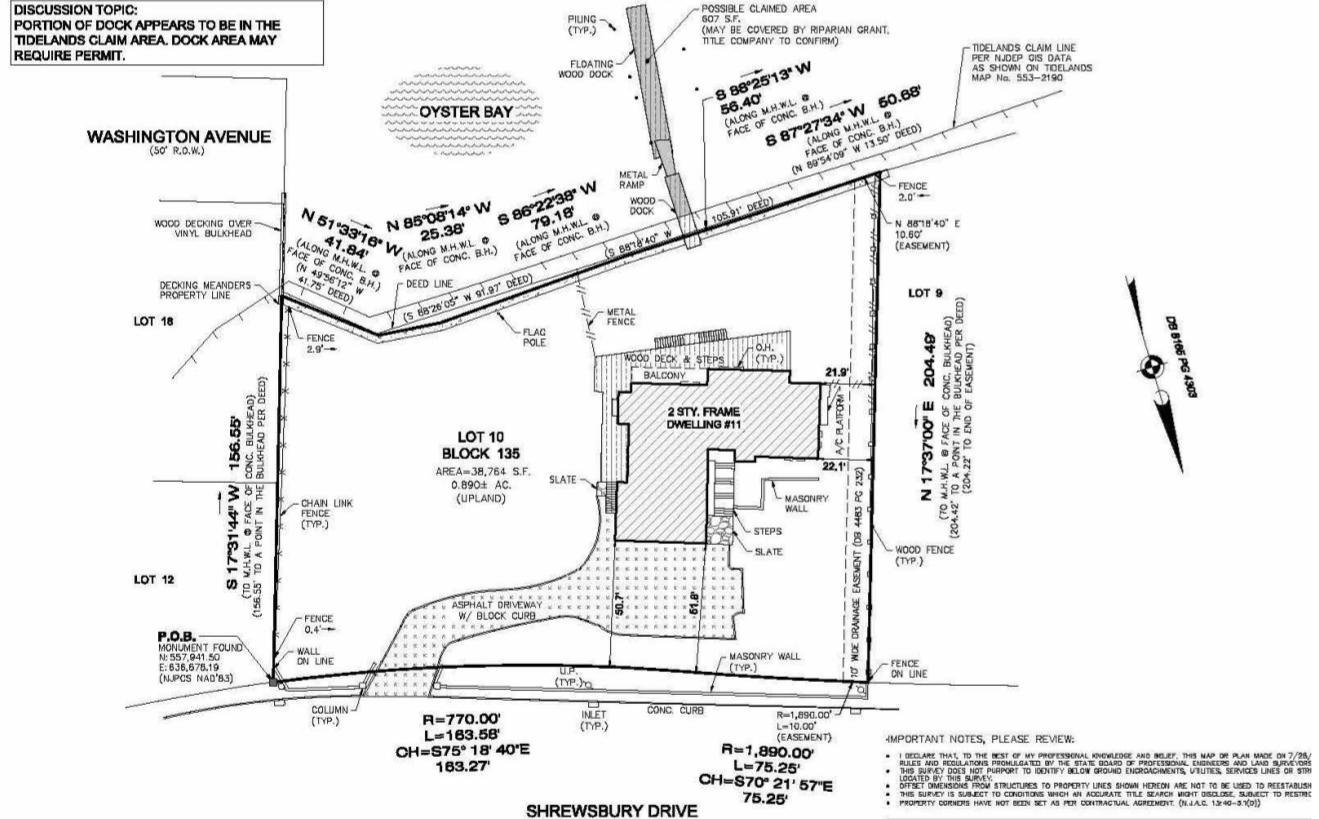
**GENERAL NOTES:**

- ALL DIMENSIONS TO BE VERIFIED IN FIELD. NOTIFY ARCHITECT ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENT AND ANY IN-FIELD CONDITIONS
- DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS OF CONTRACT DOCUMENT AND ON SITE ARE EXECUTABLE PRIOR TO COMMENCEMENT OF WORK
- CONTRACTOR TO CONDUCT FINAL IN-FIELD COORDINATION OF APPLIANCES AND MISCELLANEOUS ELECTRICAL FIXTURES AND CONVENIENT OUTLETS FOR TV, FANS AND CEILING MOUNTED HEATERS
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING GOOD GRADE AND QUALITY MATERIAL, INCLUDING BUT NOT LIMITED TO WOOD, CONCRETE, AND METAL MEETING NATIONAL, STATE, AND LOCAL BUILDING CODE.
- ALL MATERIAL, ELECTRICAL OUTLETS AND FIXTURES MUST BE RATED FOR EXTERIOR USE
- CONTRACTOR TO ENSURE ALL PAINTED METAL SURFACE ARE FREE FROM DEFECTS. TOUCH UP ALL PAINT CHIPPING BEFORE MATERIAL ARE CONCEALED
- ALL WALKABLE SURFACE ARE TO BE SMOOTH WITH LESS THAN 1/4" CHANGE IN ELEVATION TO PREVENT TRIPPING HAZARDS
- CONTRACTOR TO PROVIDE TRANSITION STRIP WHERE MATERIAL CHANGE WILL RESULT IN MORE THAN 1/4" CHANGE IN ELEVATION EXCEPT BETWEEN LAWN AND STONE PATIO AREA
- ALL PAVING MATERIAL MUST BE SLIP RESISTANT
- ALL LUMBER AND PLYWOOD MATERIAL USED IN EXTERIOR APPLICATION MUST BE PRESSURE TREATED. ANY LUMBER USED LESS THAN 6" ABOVE GROUND AND IN APPLICATION WITHOUT PROPER VENTILATION MUST BE TREATED FOR GROUND CONTACT APPLICATION
- CONTRACTOR TO INSTALL ALL MANUFACTURED PRODUCTS BASED ON MANUFACTURER INSTRUCTION WITHOUT INFRINGING ON PRODUCT WARRANTIES
- OWNERSHIP OF DOCUMENTS SOLELY BELONG TO ARKHEMA DESIGN -REGISTERED ARCHITECT, WAH KO. DRAWINGS MAY NOT BE REUSED WITHOUT ARCHITECT'S EXPRESSED APPROVAL

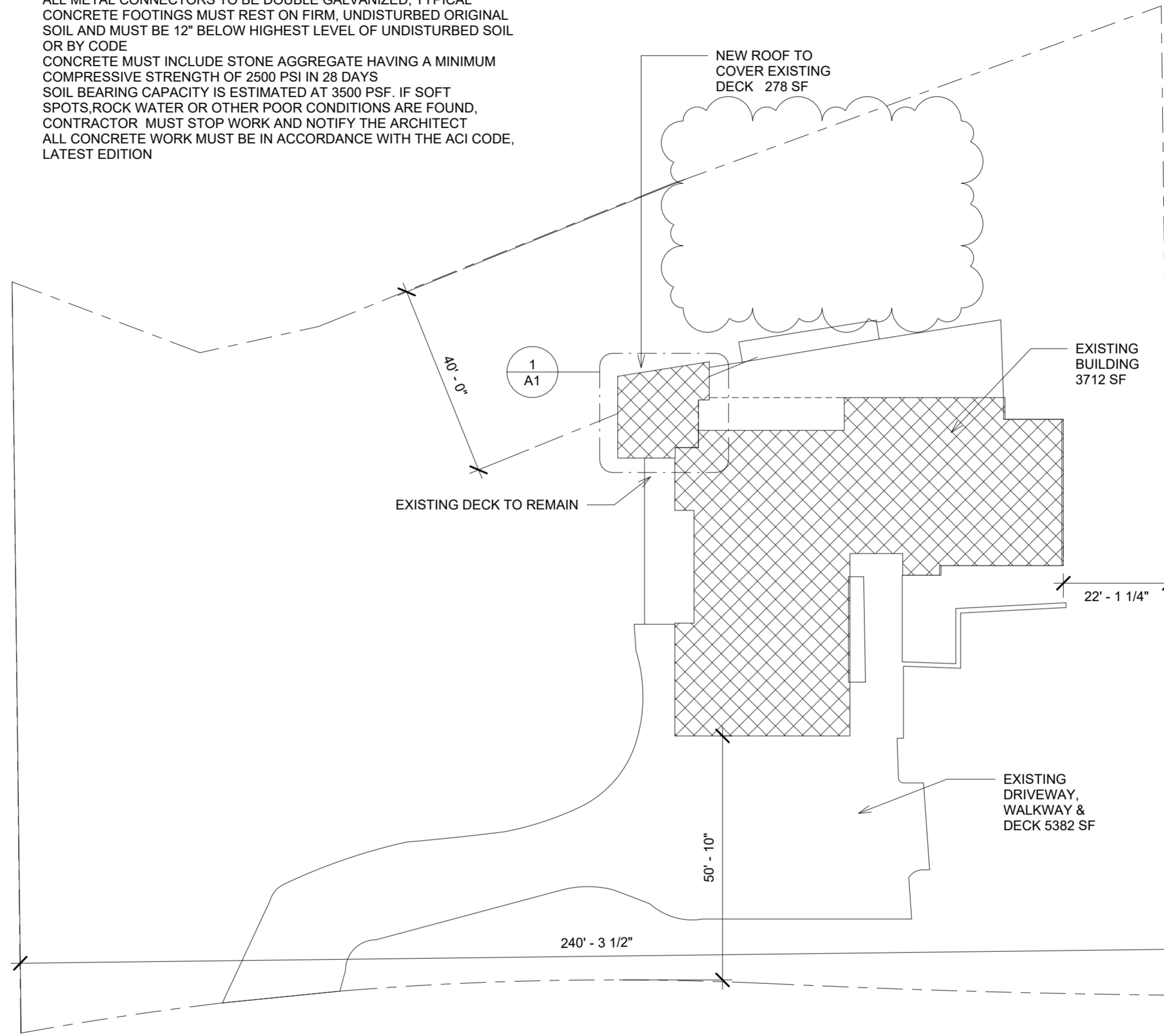
**MASONRY CARPENTRY NOTES:**

- EXTERIOR FRAMING MUST BE PRESSURE TREATED AND ALL METAL HANGERS/CONNECTORS TO BE DOUBLE GALVANIZED. ALL FLASHING TO BE NON METALLIC FLASHING TO AVOID DISSIMILAR METAL CONTACT. ALL WOOD SILLS MUST BE PRESSURE TREATED
- CONTRACTOR MUST PROVIDE TEMPORARY BRACING OF WORK DURING CONSTRUCTION
- ANY CUTTING, DRILLING OR NOTCHING OF ANY STRUCTURAL MEMBER MUST BE ACCORDING TO CODE - CONTACT ARCHITECT FOR INSTRUCTION
- ALL METAL CONNECTORS TO BE DOUBLE GALVANIZED, TYPICAL CONCRETE FOOTINGS MUST REST ON FIRM, UNDISTURBED ORIGINAL SOIL AND MUST BE 12" BELOW HIGHEST LEVEL OF UNDISTURBED SOIL OR BY CODE
- CONCRETE MUST INCLUDE STONE AGGREGATE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS
- SOIL BEARING CAPACITY IS ESTIMATED AT 3500 PSF. IF SOFT SPOTS, ROCK WATER OR OTHER POOR CONDITIONS ARE FOUND, CONTRACTOR MUST STOP WORK AND NOTIFY THE ARCHITECT
- ALL CONCRETE WORK MUST BE IN ACCORDANCE WITH THE ACI CODE, LATEST EDITION

TOGETHER WITH ALL RIGHT, TITLE & INTEREST IN AND TO A PORTION OF A RIPARIAN GRANT RECORDED IN THE M.C.C.O. ON 12/11/1982 IN DB 360 PG 286.  
 DISCUSSION TOPIC: RIPARIAN GRANT CONTAINS VAGUE DESCRIPTION AND CANNOT BE PLOTTED ACCURATELY. POSSIBLE CLAIM AREA MAY BE NEGATED BY GRANT. TITLE COMPANY TO CONFIRM.  
 DISCUSSION TOPIC: PORTION OF DOCK APPEARS TO BE IN THE TIDELANDS CLAIM AREA. DOCK AREA MAY REQUIRE PERMIT.



PREPARED FOR: THOMAS LA STELLA  
 TITLE INSURER: GOLD DRAFT TITLE AGENCY, LLC (S00-660)  
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY



ALL EXISTING LOT DIMENSIONS ARE BASED ON SURVEY PROVIDED BY OWNER

① SITE PLAN  
 3/64" 1'-0"

**R-2 SINGLE FAMILY RESIDENTIAL**

REQUIREMENTS	MINIMUM	EXISTING AND PROPOSED	CONFORMANCE
LOT AREA	1.00 AC/43,560 SF	38,764 SF	NO; EXISTING; NO CHANGE
LOT WIDTH	150'	240.25'	YES; EXISTING; NO CHANGE
FRONT YARD	75'	50.9'	NO; EXISTING; NO CHANGE
SIDE YARD	25'/50' COMBINED	22.1'/ 149.6' COMBINED	NO; EXISTING; NO CHANGE
REAR YARD	40'	32.9' (ROOF)	NO; NEW PROPOSED
MAX BLD COVERAGE	2095 SF+ (0.0620 X 28764SF)	3712SF (EXISTING BUILDING) + 278 SF (NEW ROOF)	NO; NEW PROPOSED
REAR YARD	3878.37 SF	3990SF	
MAX LOT COVERAGE	3970 SF+ (0.1915 X28764SF)	9372 SF	YES; NEW PROPOSED
	9478.31 SF		

# ArkHEMA Design

458 E Wilkey Street, Philadelphia, PA 19125

215.439.7085  
 archkhemadesign@gmail.com

LICENSE INFORMATION | SIGN AND SEAL

ARCHITECT  
 WAH KO, RA  
 LICENSE: #21AI02246400  
 ISSUE DATE: 07/21/2022

CONTRACTOR:  
 DECK REMODELERS LLC

No.	Description	Date
1	ZONING REVIEW COMMENTS	11-6-2024

## LA STELLA COVERED ROOF PROJECT

11 SHREWSBURY DRIVE, RUMSON, NJ 07760

### CODE SUMMARY AND BULK REQUIREMENT

Project number	20240815
Date	08/15/2024
Drawn by	JK
Checked by	JK

**G1**

Scale As indicated

# ArKhema Design

458 E Wildey Street, Philadelphia, PA 19125

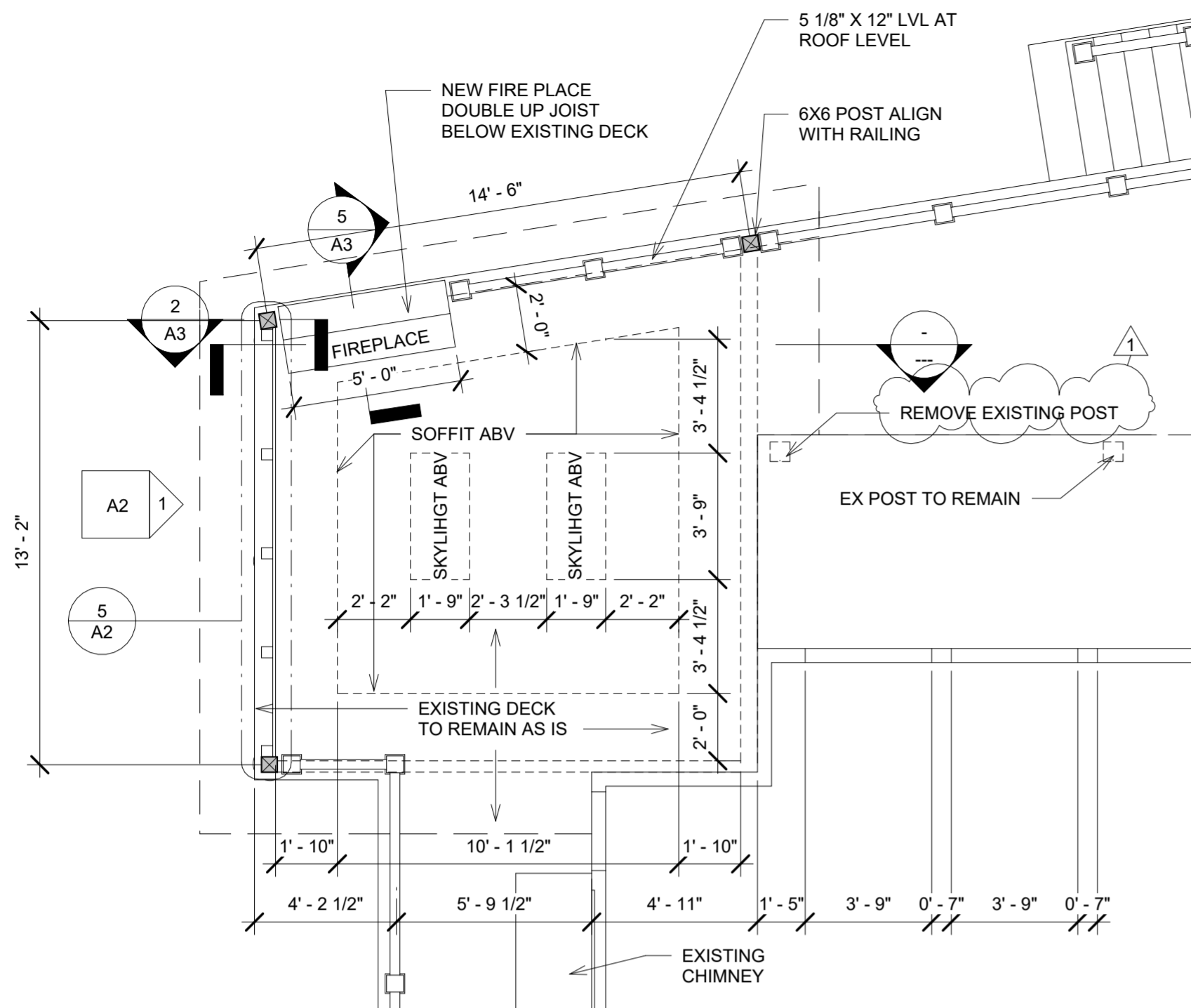
215.439.7085  
 archkemadesign@gmail.com

LICENSE INFORMATION | SIGN AND SEAL

ARCHITECT  
 WAH KO, RA

LICENSE: #21AI02246400  
 ISSUE DATE: 07/21/2022

CONTRACTOR:  
 DECK REMODELERS LLC

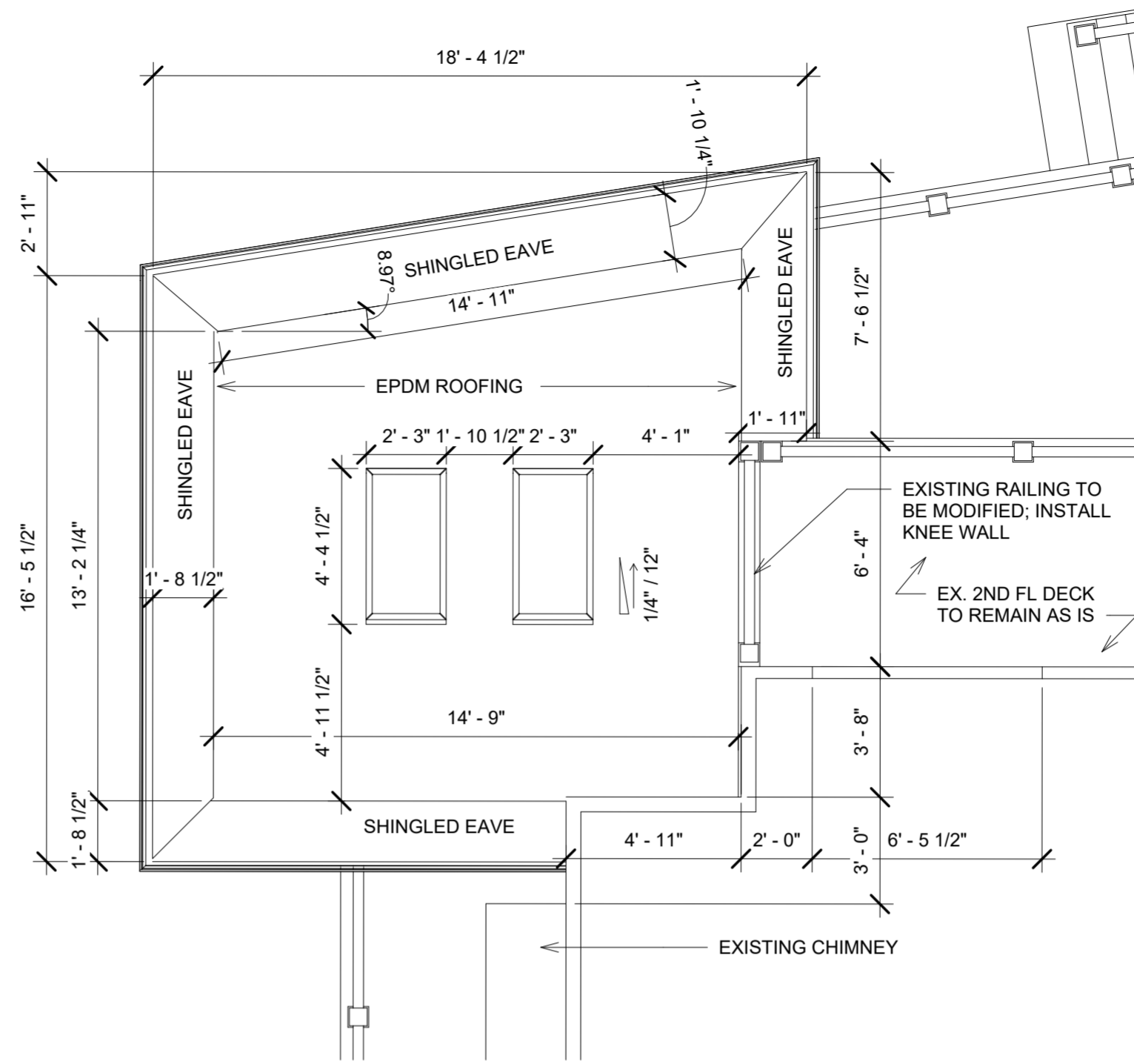


1 COVERED ROOF PLAN  
 1/4" 1'-0"

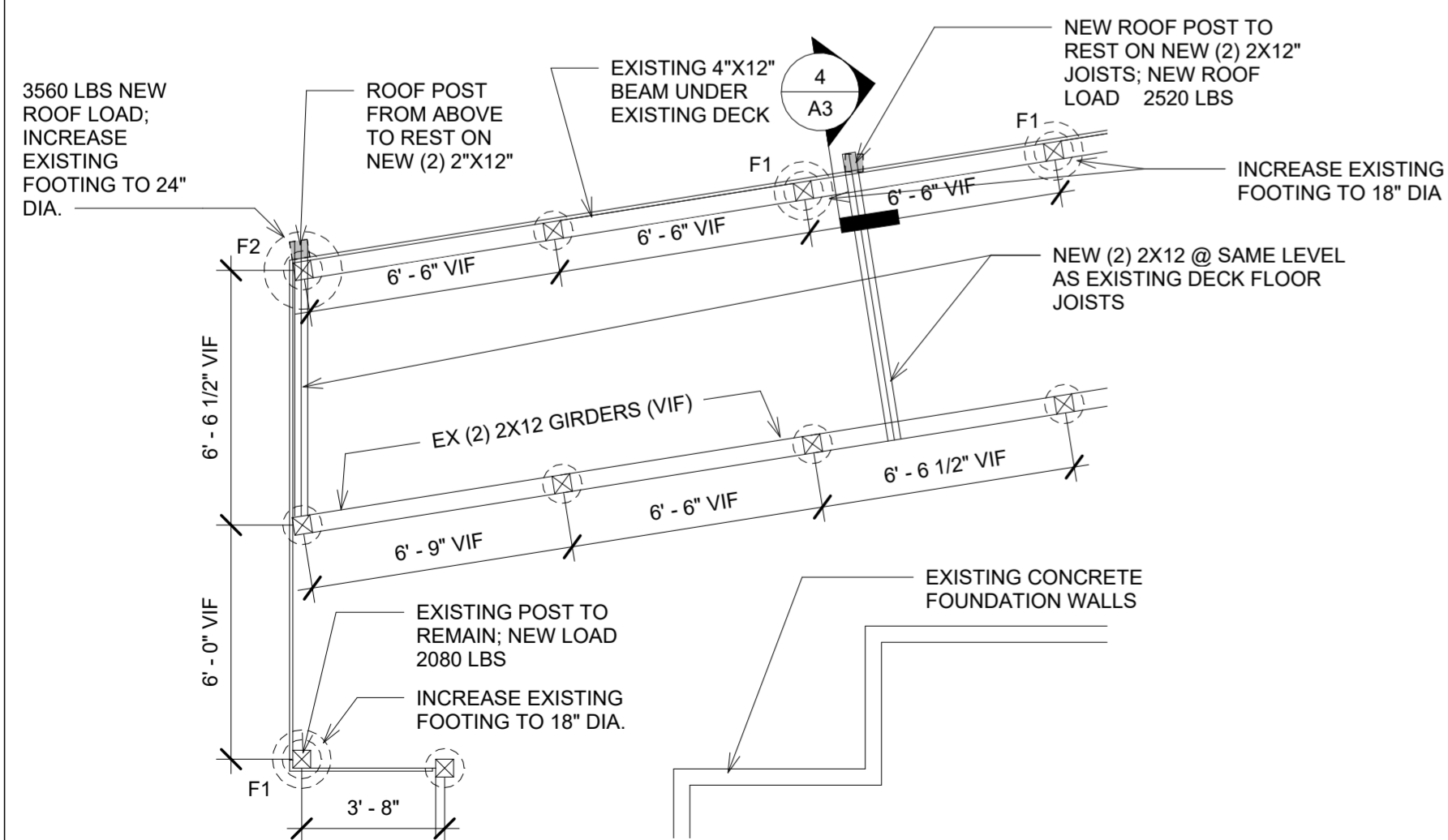
FOOTING LOAD CALCULATIONS:

GROUND SNOW LOAD : 20 PSF  
 ROOF DEADLOAD: 10 PSF  
 EXISTING DECK DEADLOAD: ASSUMED 10 PSF

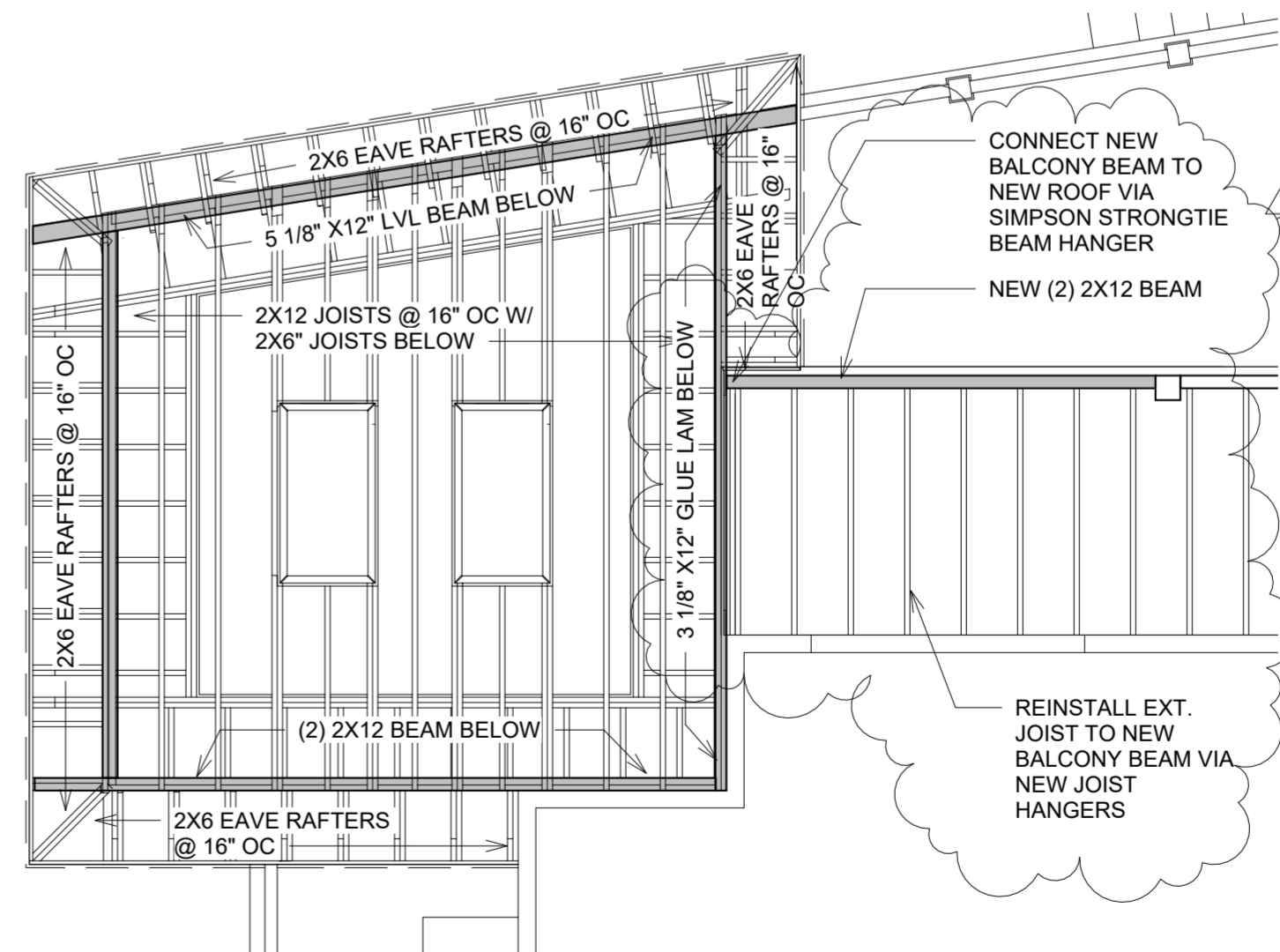
TOTAL ROOF AND DECK CALCULATED LOAD: 40 PSF  
 ASSUME SOIL BEARING CAPACITY : 1500PSI  
 EX1= 12" DIA FOOTING; MAX LOAD CAPACITY = 1,185 LBS  
 F1 = 18" DIA FOOTING; MAX LOAD CAPACITY = 2,655 LBS  
 F2 = 24" DIA FOOTING; MAX LOAD CAPACITY = 4,710 LBS  
 6X6 DOUGLAS-FIR STRUCTURAL POST LOAD CAPACITY @ 10' UNBRACED HEIGHT = 21,387 LB



2 COVERED ROOF PLAN  
 1/4" 1'-0"



3 DECK FRAMING PLAN  
 1/4" 1'-0"



4 PERGOLA FRAMING PLAN PART 2  
 1/4" 1'-0"

No.	Description	Date
1	ZONING REVIEW COMMENTS	11-6-2024

## LA STELLA COVERED ROOF PROJECT

11 SHREWSBURY DRIVE, RUMSON, NJ 07760

PLANS

Project number	20240815
Date	08/15/2024
Drawn by	JK
Checked by	JK

# A1

Scale 1/4" 1'-0"

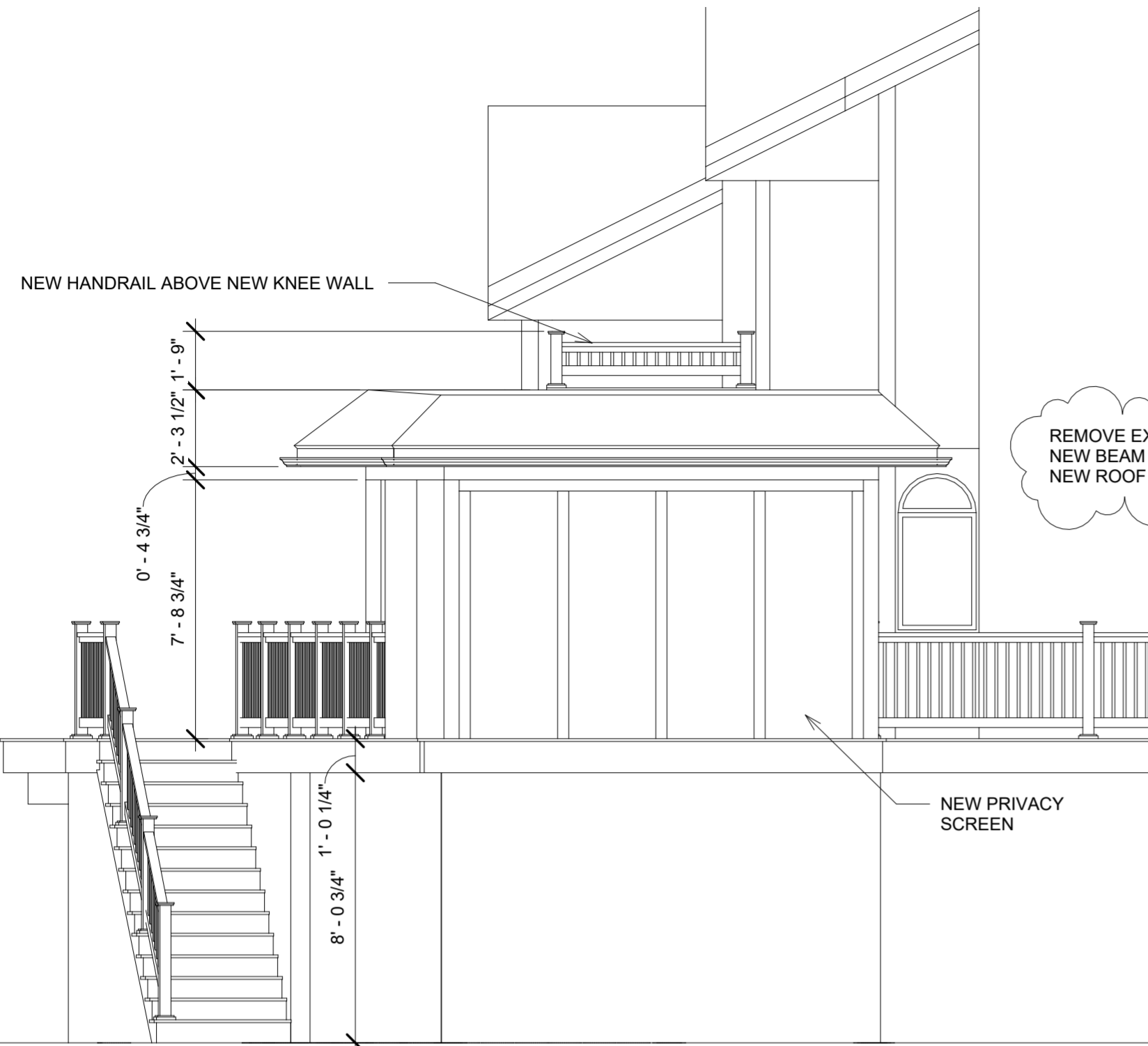
# ArKhema Design

458 E Wildey Street, Philadelphia, PA 19125  
215.439.7085  
archkemadesign@gmail.com

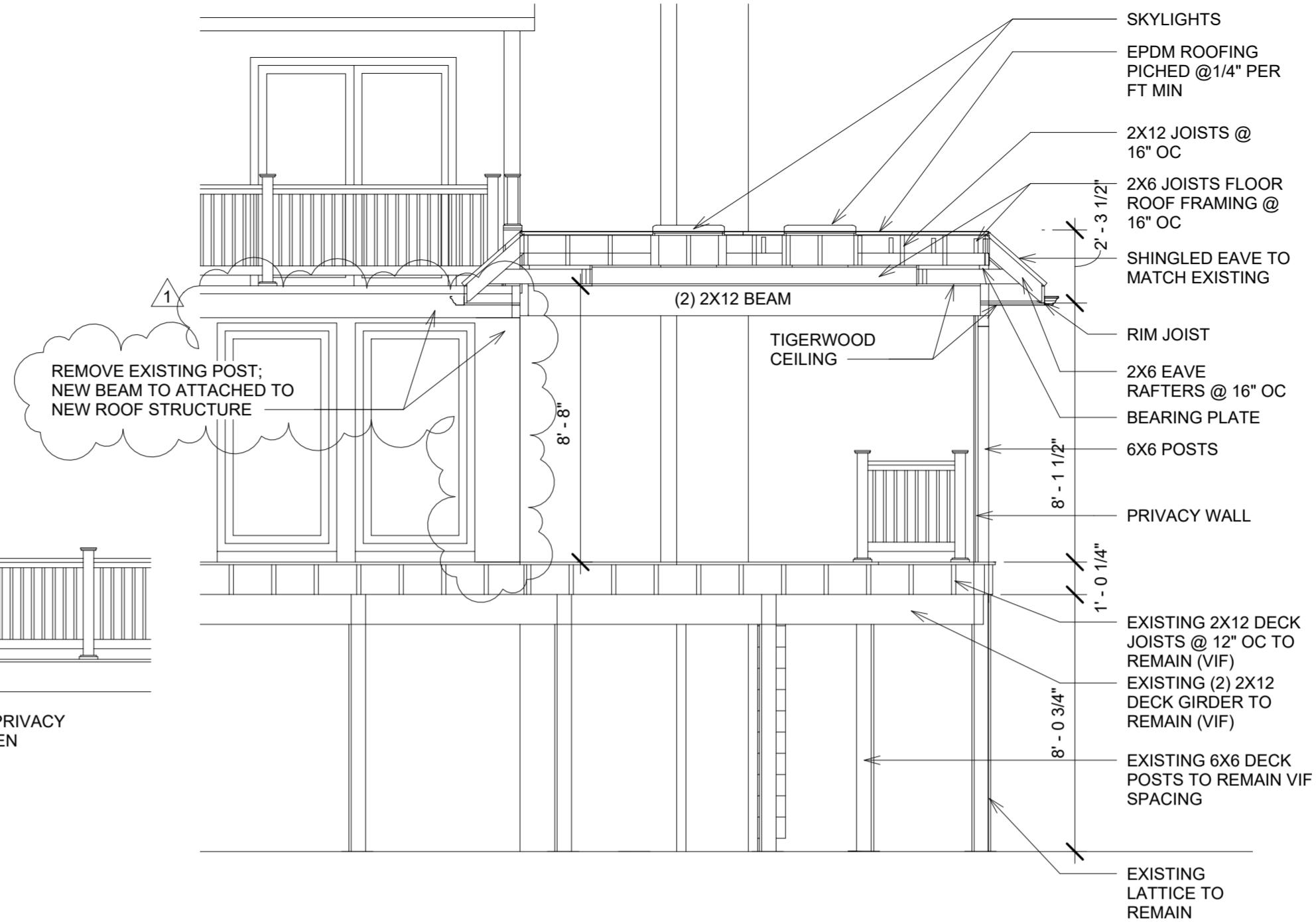
LICENSE INFORMATION | SIGN AND SEAL

ARCHITECT  
WAH KO, RA  
LICENSE: #21AI02246400  
ISSUE DATE: 07/21/2022

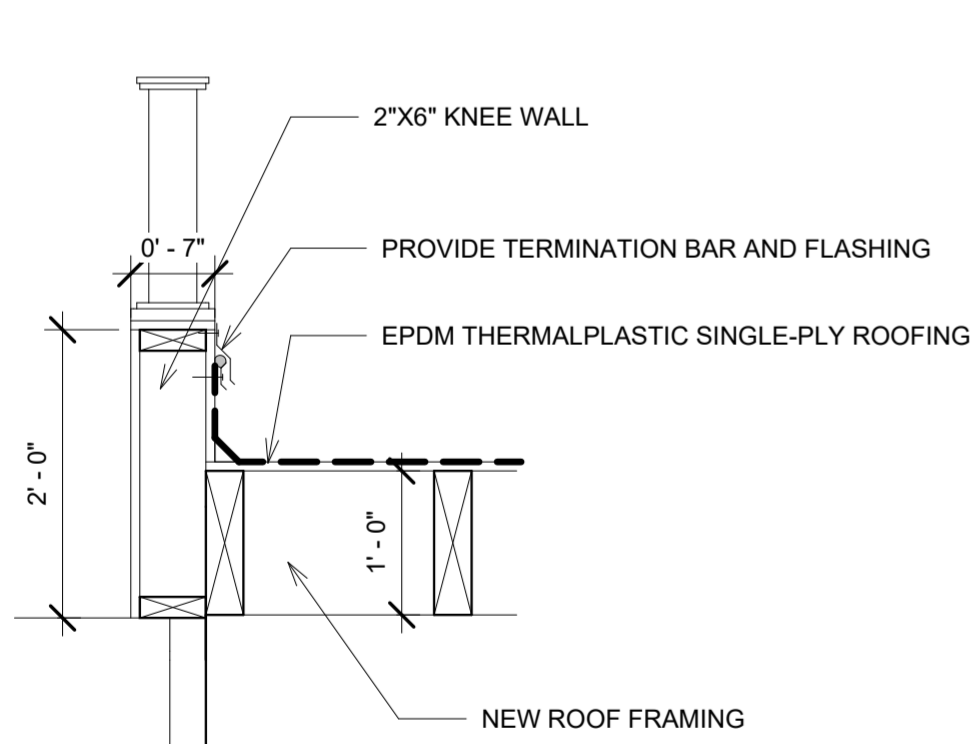
CONTRACTOR:  
DECK REMODELERS LLC



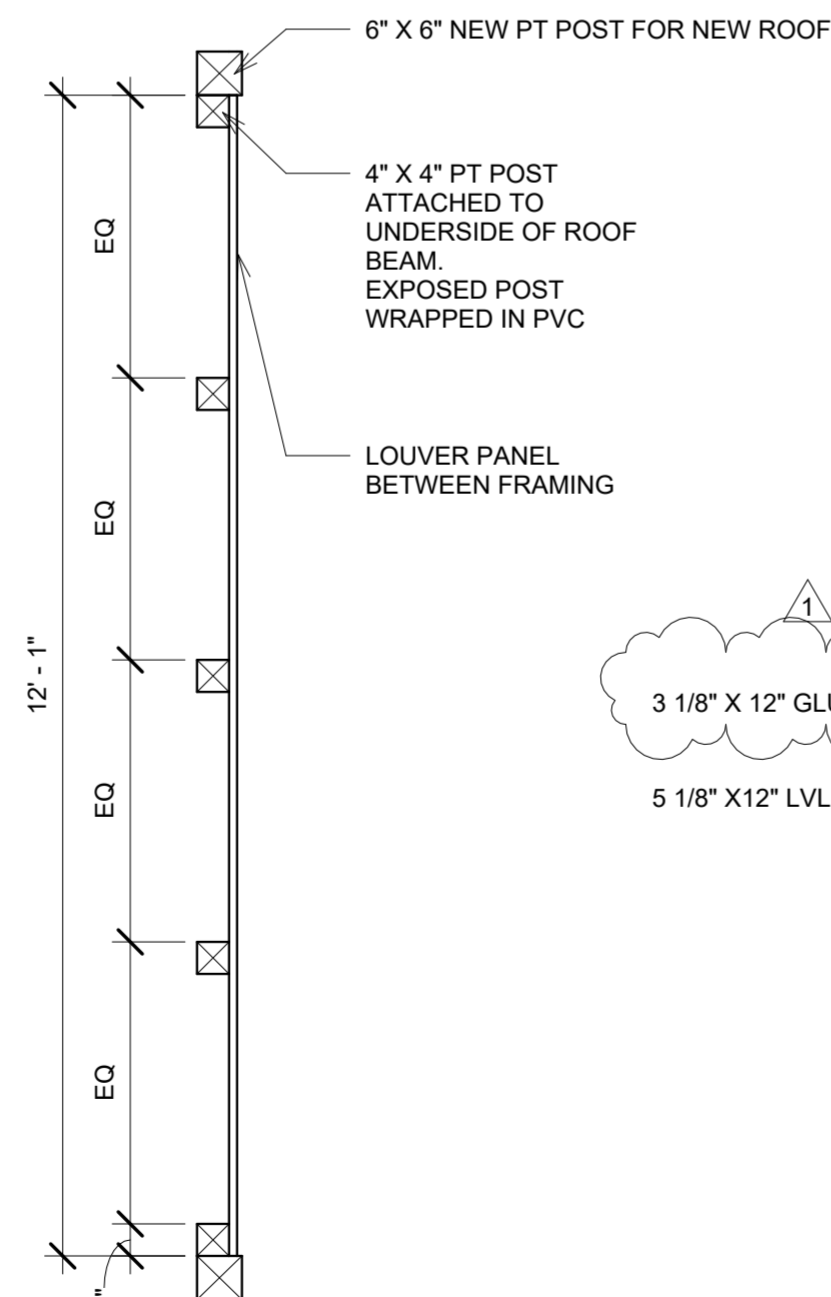
1 NEW ROOF ELEVATION  
1/4" 1'-0"



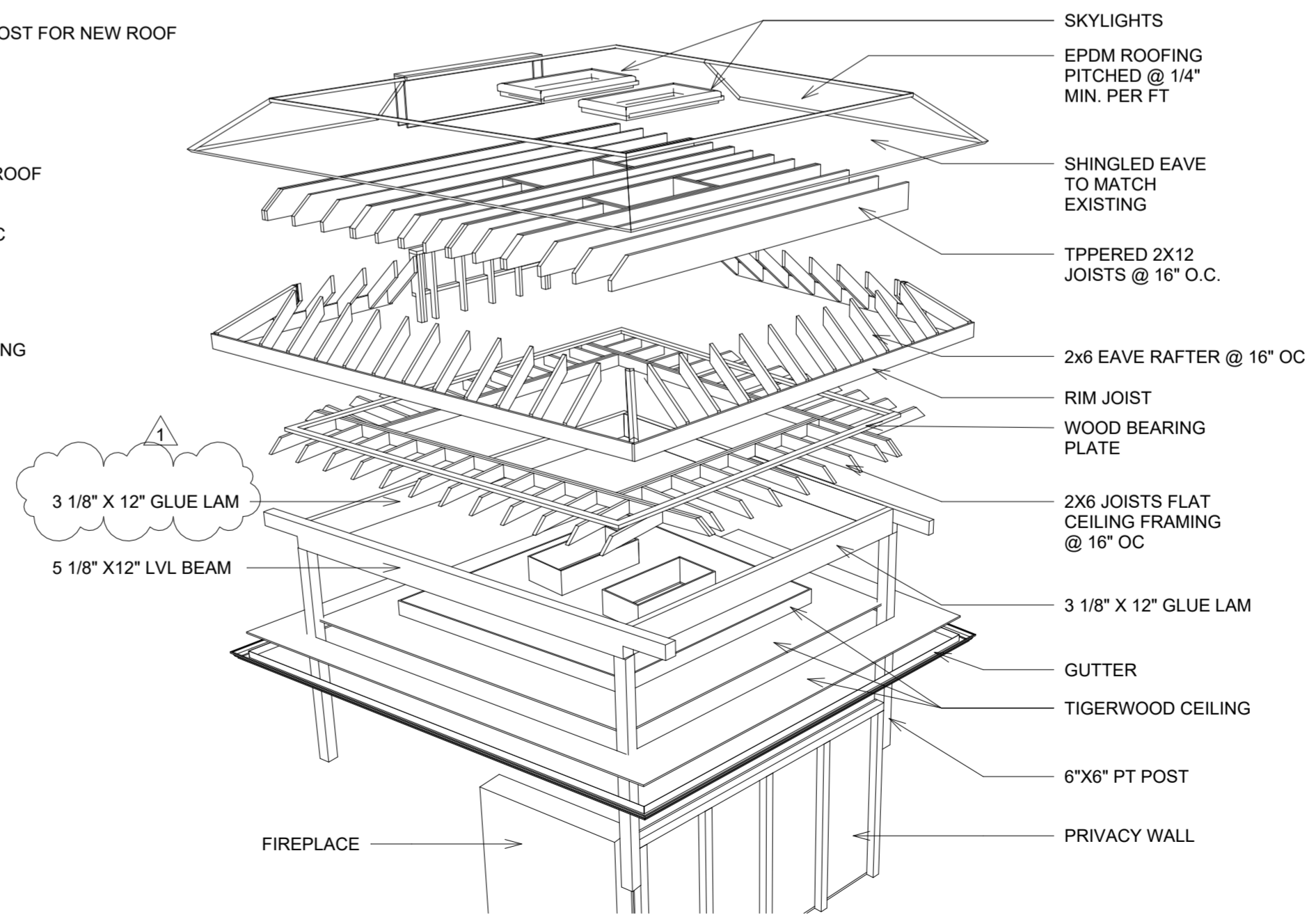
2 PERGOLA SECTION  
1/4" 1'-0"



4 KNEE WALL  
3/4" 1'-0"



5 LOUVER WALL  
1/2" 1'-0"



3 PERGOLA AXON  
1/8" 1'-0"

No.	Description	Date
1	ZONING REVIEW COMMENTS	11-6-2024

## LA STELLA COVERED ROOF PROJECT

11 SHREWSBURY DRIVE, RUMSON, NJ 07760  
ROOF FRAMING, SECTION AND ELEV

Project number	20240815
Date	08/15/2024
Drawn by	Author
Checked by	Checker

A2

Scale As indicated

# ArKhema Design

458 E Wildey Street, Philadelphia, PA 19125  
 215.439.7085  
 archkemadesign@gmail.com

LICENSE INFORMATION | SIGN AND SEAL

ARCHITECT  
 WAH KO, RA  
 LICENSE: #21AI02246400  
 ISSUE DATE: 07/21/2022

CONTRACTOR:  
 DECK REMODELERS LLC

No.	Description	Date

## LA STELLA COVERED ROOF PROJECT

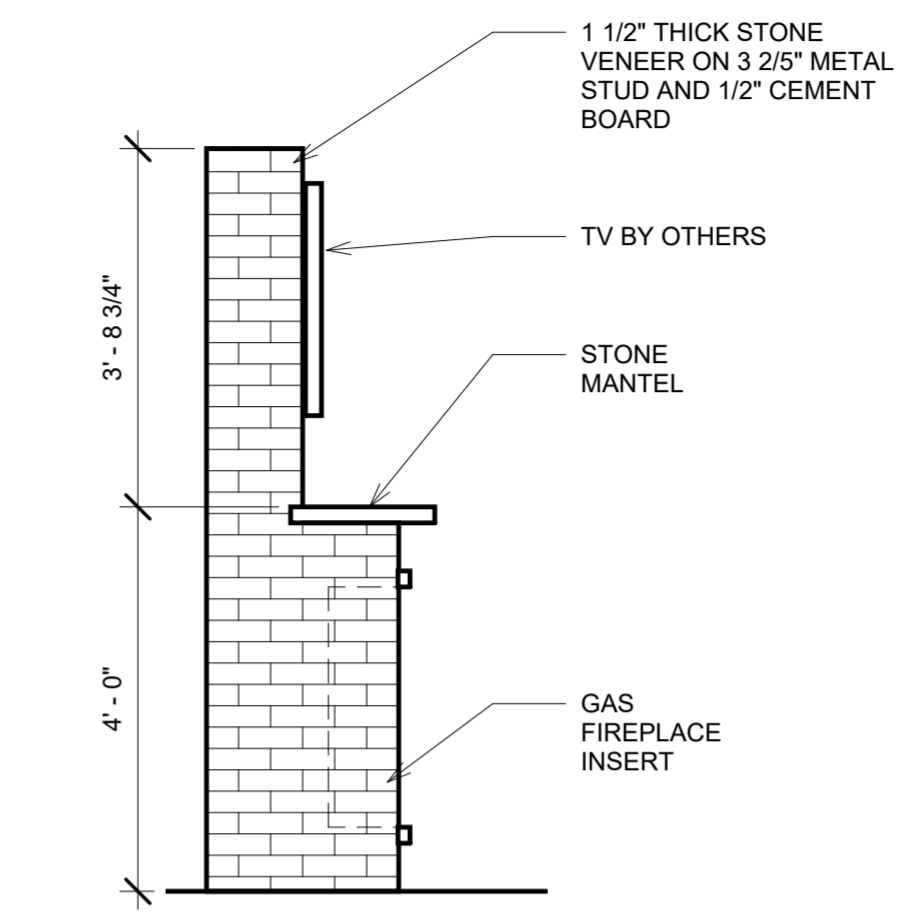
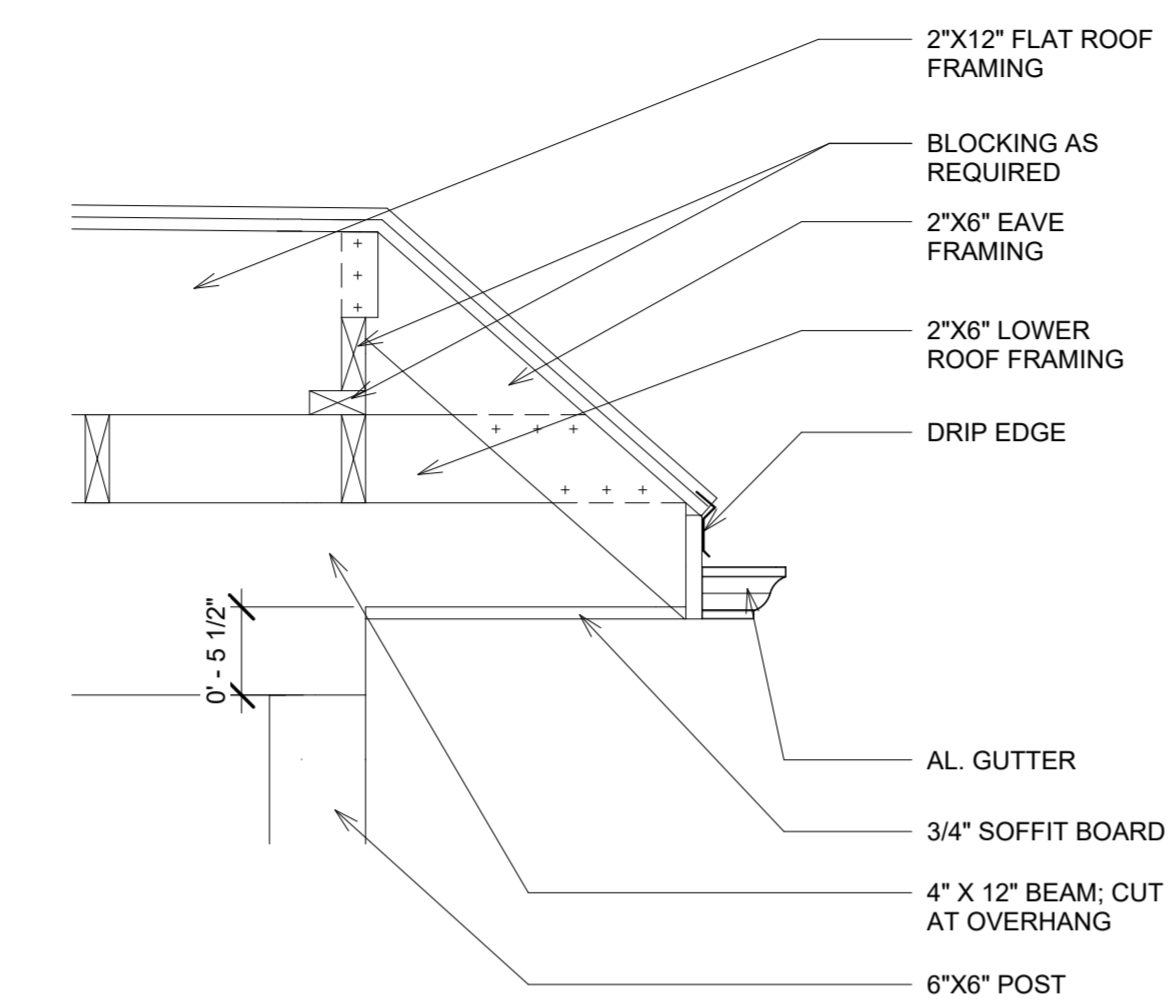
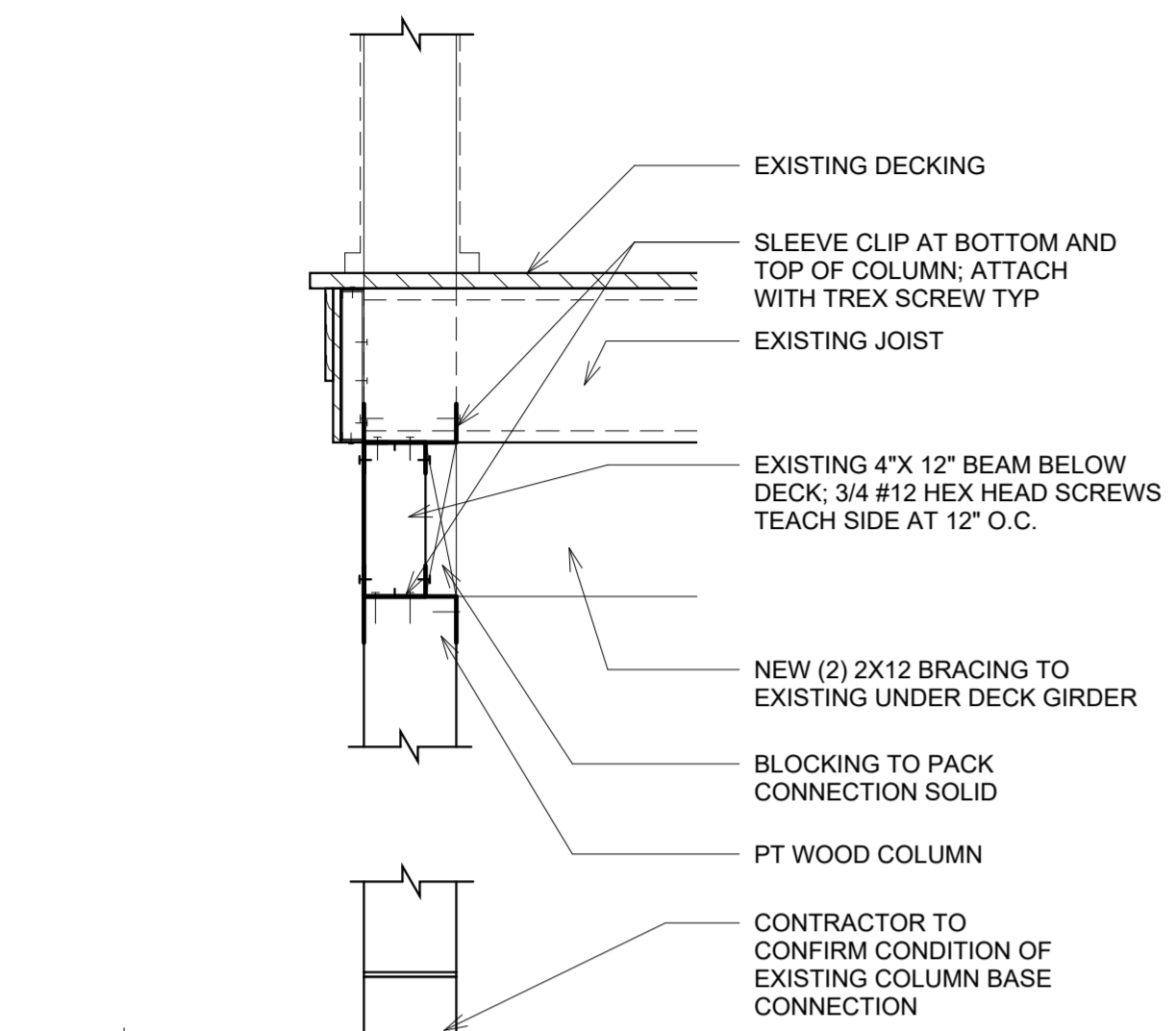
11 SHREWSBURY DRIVE, RUMSON, NJ 07760

### DETAILS

Project number	20240815
Date	08/15/2024
Drawn by	Author
Checked by	Checker

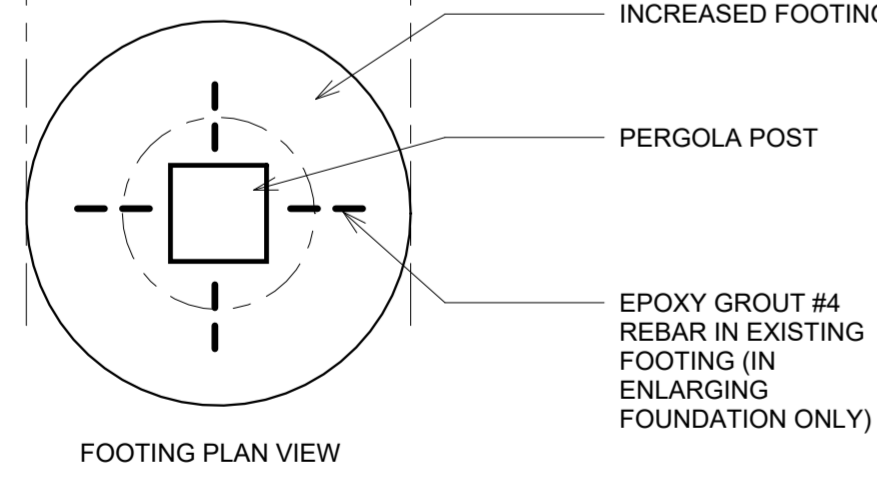
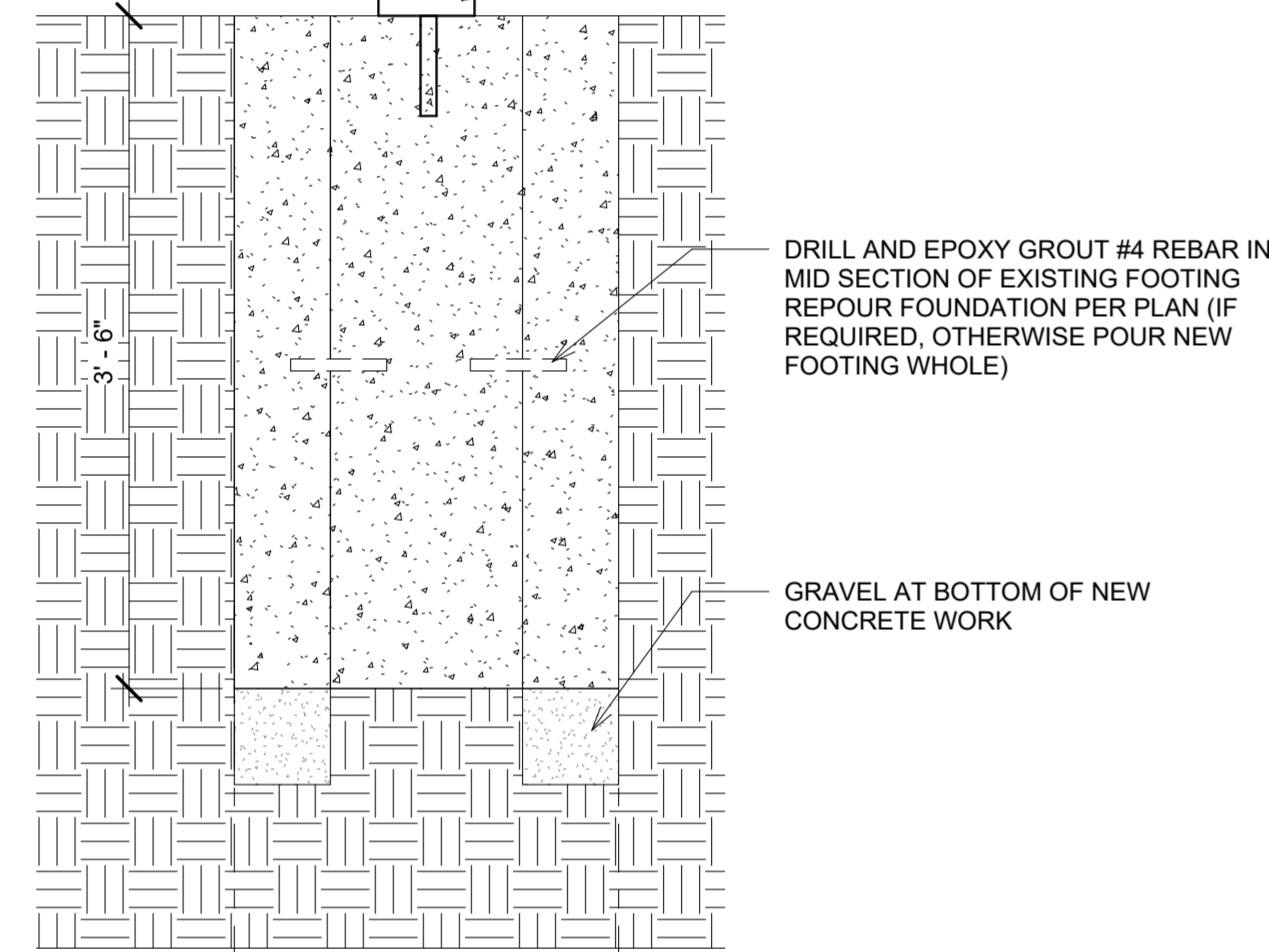
# A3

Scale As indicated

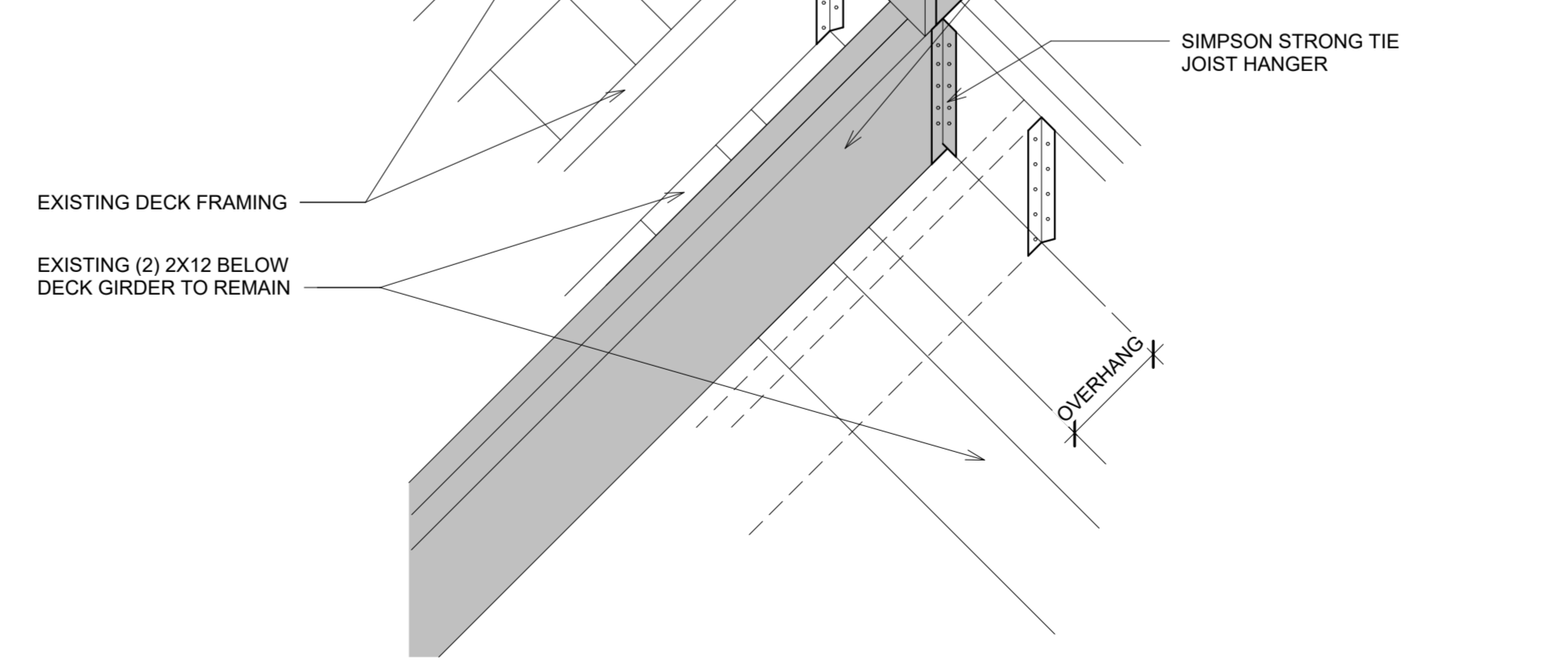


① ROOF EAVE DETAIL  
 1" 1'-0"

⑤ FIREPLACE ELEVATION  
 1/2" 1'-0"



② COLUMN AND PERGOLA DTL  
 1" 1'-0"



④ NEW POST AND DECK CONNECTION  
 1" 1'-0"

La Stella- 11 Shrewsbury Dr

Proposed Rendering

